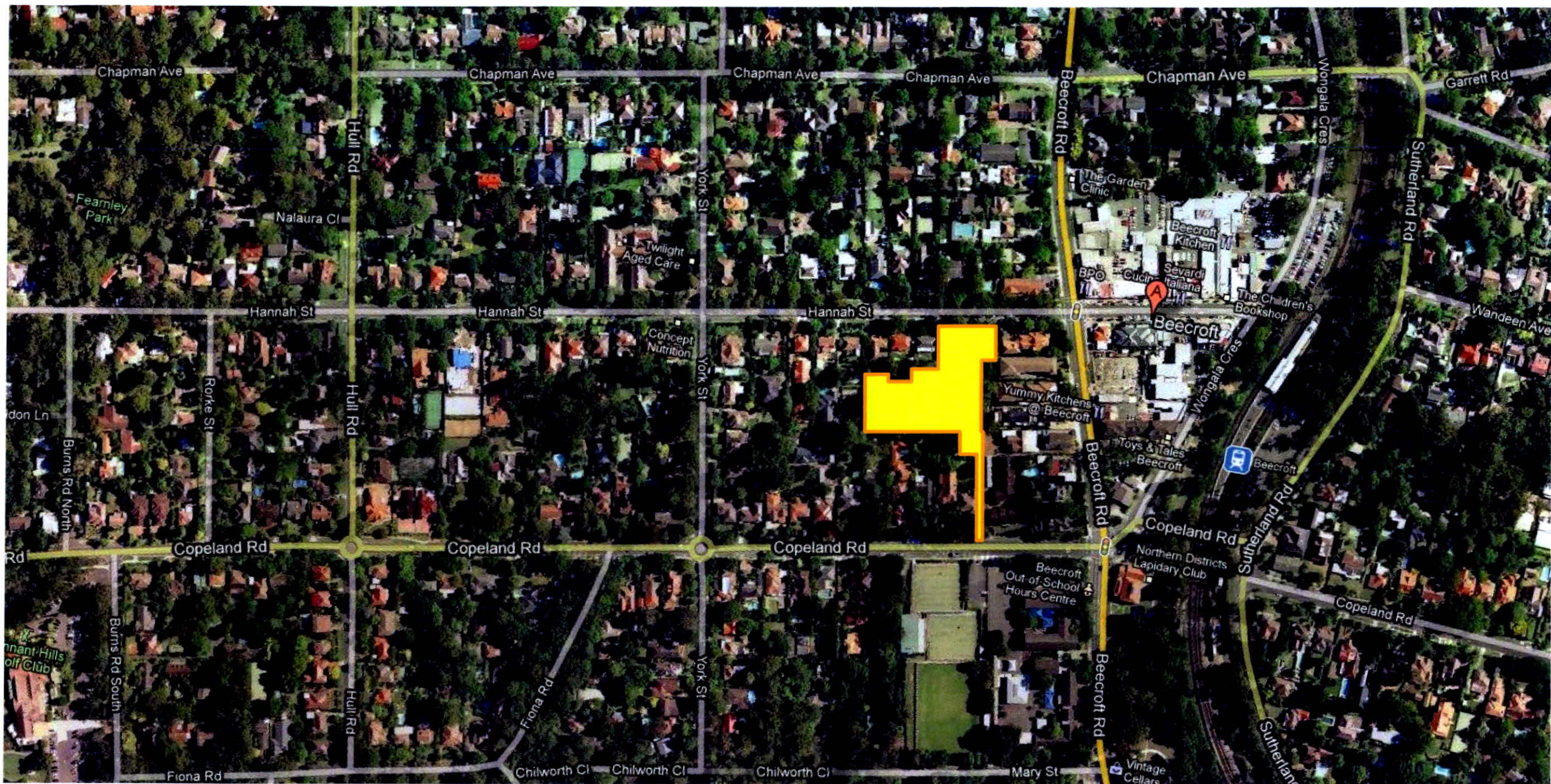




DRAWING TITLE

DA01	SURVEY PLAN	1:250 @ B1
DA02	SITE PLAN	1:400 @ B1
DA03	DEMOLITION PLAN	1:200 @ B1
DA04	LOWER GROUND FLOOR PLAN	1:200 @ B1
DA05	GROUND FLOOR PLAN	1:200 @ B1
DA06	FLOOR PLAN LEVEL1	1:200 @ B1
DA07	FLOOR PLAN LEVEL2	1:200 @ B1
DA08	FLOOR PLAN LEVEL3	1:200 @ B1
DA09	FLOOR PLAN LEVEL4	1:200 @ B1
DA10	ROOF PLAN	1:200 @ B1
DA11	SECTIONS / ELEVATIONS 01 & 02	1:200 @ B1
DA12	SECTIONS / ELEVATIONS 03 & 04	1:200 @ B1
DA13	SECTIONS / ELEVATIONS 05 & 06	1:200 @ B1
DA14	SECTIONS / ELEVATIONS 08 & 09	1:200 @ B1
DA15	SECTIONS / ELEVATIONS 10 & 11	1:200 @ B1
DA16	SECTIONS / ELEVATIONS 01 BLD 1	1:100 @ B1
DA17a	SHADOW DIAGRAMS-EXISTING	AS SHOWN @ B1
DA17b	SHADOW DIAGRAMS-PROPOSED	AS SHOWN @ B1
DA18	SOLAR ACCESS ANALYSIS	AS SHOWN @ B1
DA19	COLOURS AND MATERIALS	1:100 @ A3
DA20	HANNAH STREET PHOTO MONTAGE	NTS @ A3
DA21	SITE ANALYSIS	1:1000 @ A3
DA22	SECTIONS	1:100 @ B1

SCHEDULE OF AREAS

SITE AREA	6546.78 sqm
# APARTMENTS	46
# CAR SPACES	48
FSR	0.71 : 1



REVISION C:
1. DA22 SHEET ADDED

Scale 1:500 @ B1
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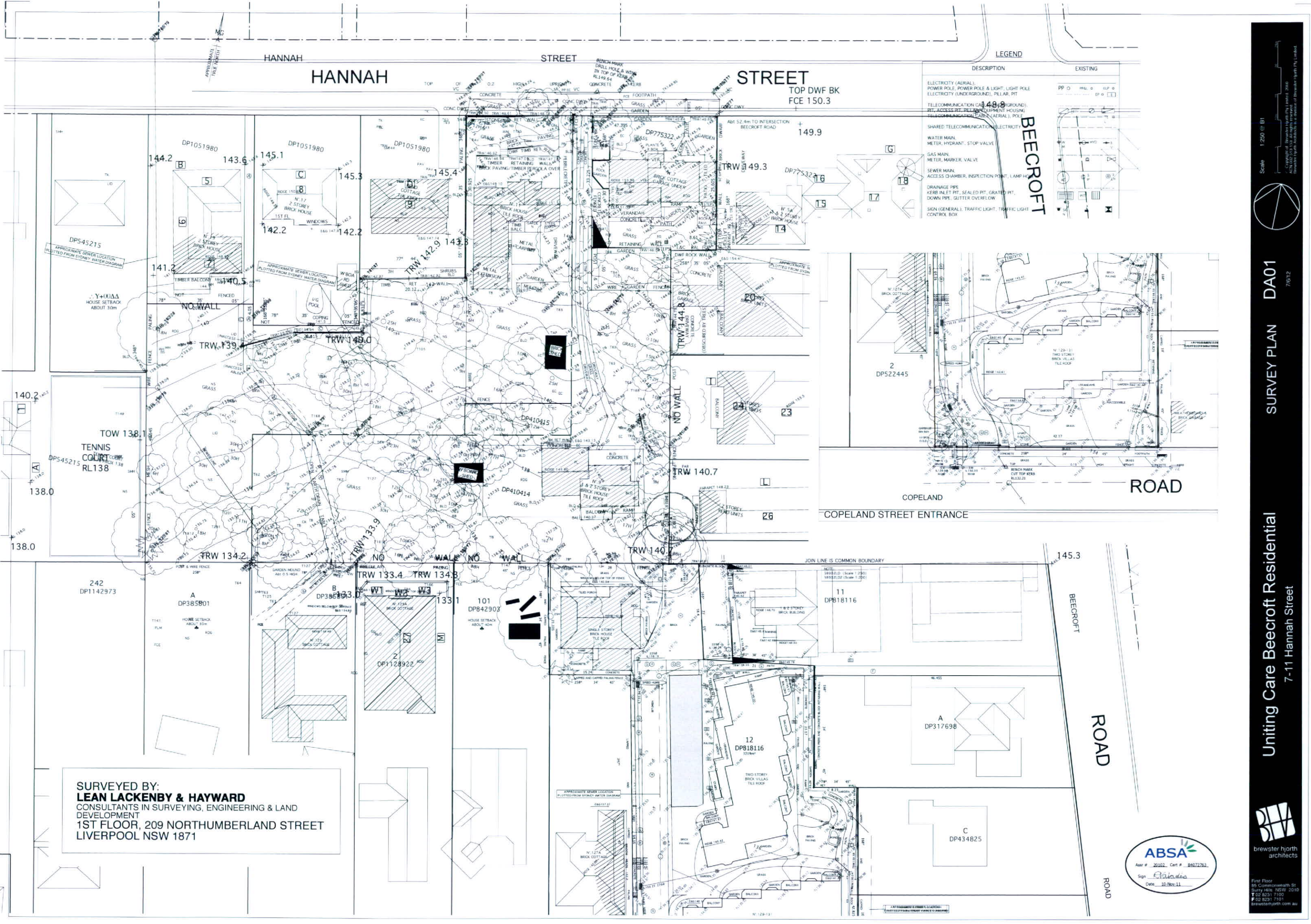


DA00
TITLE SHEET
REV. C [46 Units]
19/08/12

Uniting Care Beecroft Residential
7-11 Hannah Street



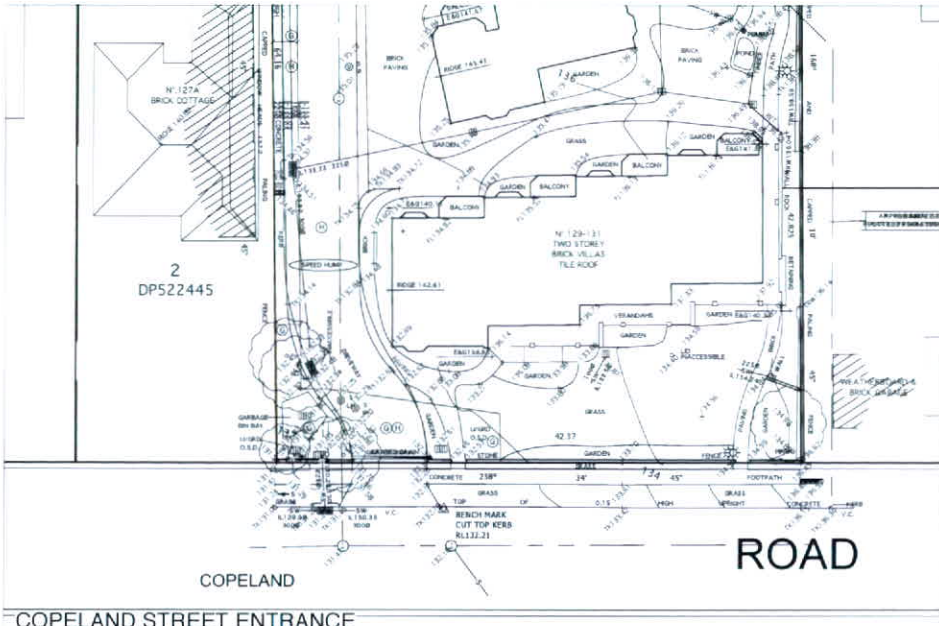
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LEGEND

DESCRIPTION	EXISTING
ELECTRICITY (AERIAL), POWER POLE, POWER POLE & LIGHT, LIGHT POLE	PP ○ PPL ○ ELP ○
ELECTRICITY (UNDERGROUND), PILLAR, PIT	PP ○ PPL ○ ELP ○
TELECOMMUNICATION CABLE (UNDERGROUND), PIT, ACCESS PIT, TELECOMMUNICATION HOUSING	PP ○ PPL ○ ELP ○
TELECOMMUNICATION CABLE (AERIAL), PILLAR	PP ○ PPL ○ ELP ○
SHARED TELECOMMUNICATION ELECTRICITY	PP ○ PPL ○ ELP ○
WATER MAIN, METER, HYDRANT, STOP VALVE	PP ○ PPL ○ ELP ○
GAS MAIN, METER, MARKER, VALVE	PP ○ PPL ○ ELP ○
SEWER MAIN, ACCESS CHAMBER, INSPECTION POINT, LAMP HOUSE	PP ○ PPL ○ ELP ○
DRAINAGE PIPE, KERB INLET PIT, SEALED PIT, GRATED PIT, DOWN PIPE, GUTTER OVERFLOW	PP ○ PPL ○ ELP ○
SIGN (GENERAL), TRAFFIC LIGHT, TRAFFIC LIGHT CONTROL BOX	PP ○ PPL ○ ELP ○

BEECROFT ROAD



SURVEYED BY:
LEAN LACKENBY & HAYWARD
CONSULTANTS IN SURVEYING, ENGINEERING & LAND DEVELOPMENT
1ST FLOOR, 209 NORTHUMBERLAND STREET
LIVERPOOL NSW 1871



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7-11 Hannah Street
SURVEY PLAN DA01

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- REVISION B
 1. LANDSCAPE AMENDED
 2. COMMUNITY BUILDING DELETED
 REVISION C
 3. BOOM GATES ADDED
 4. SHARED PATH AMENDED
 REVISION D
 5. UNITS 37, 39, 49, & 50 DELETED
 6. DRIVEWAY AND PLANTING AMENDED
 7. COPELAND ST PATH AND DRIVEWAY AMENDED

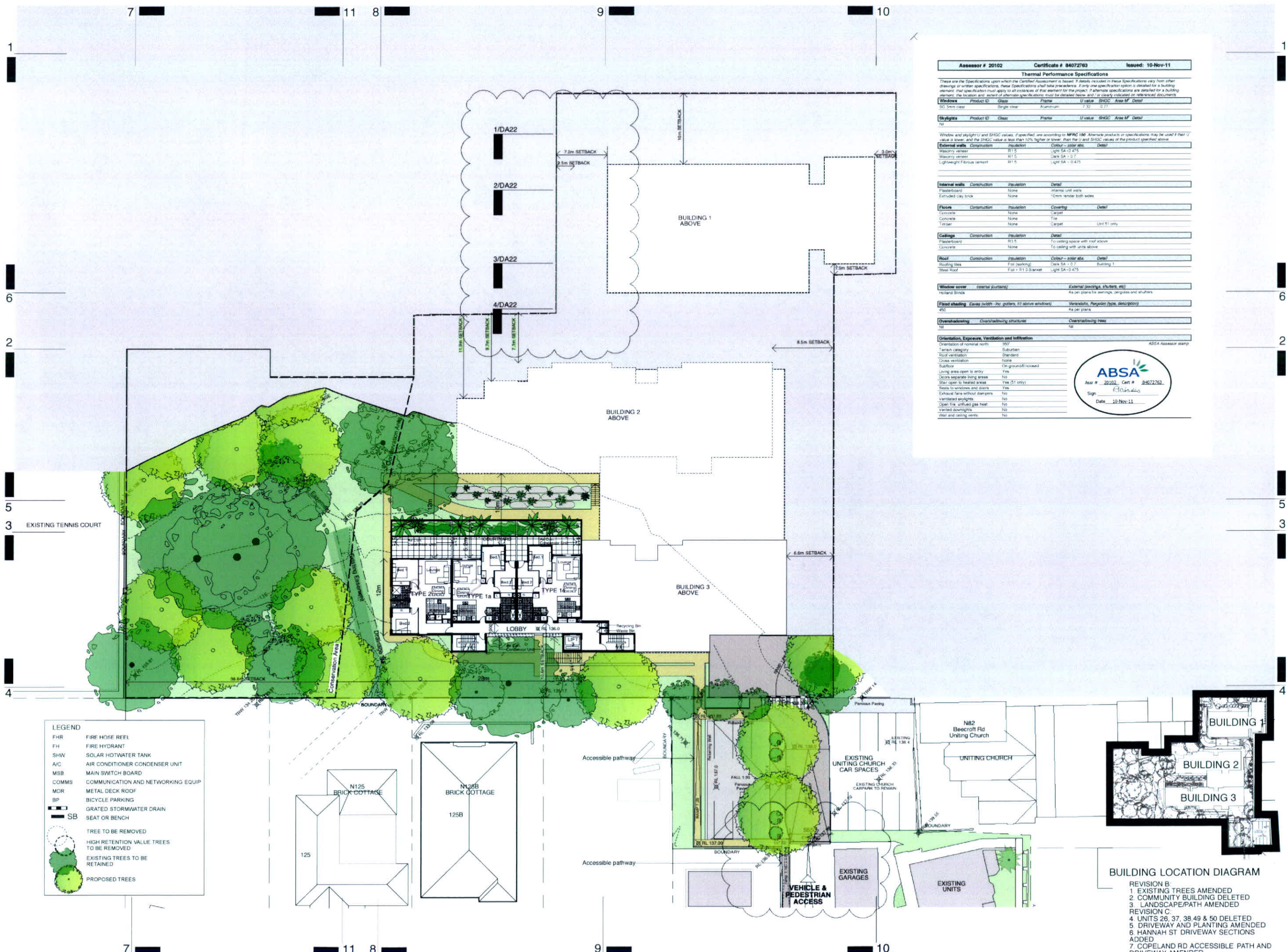
- LEGEND**
- EX S — EXISTING SEWER LINE
 - - - DISCONTINUED SEWER LINE
 - - - PROPOSED SEWER LINE
 - (X) TREE TO BE REMOVED
 - (H) HIGH RETENTION VALUE TREES TO BE REMOVED
 - (G) EXISTING TREES TO BE RETAINED
 - (P) PROPOSED TREES

DA02
SITE PLAN
REV. D [46 Units]

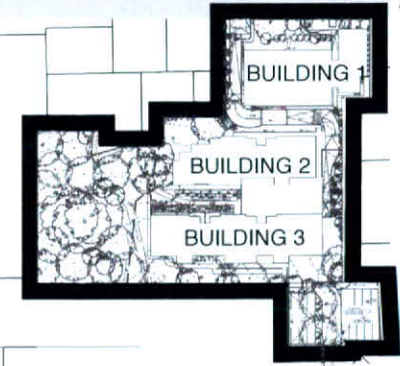
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Scale 1:400 @ B1
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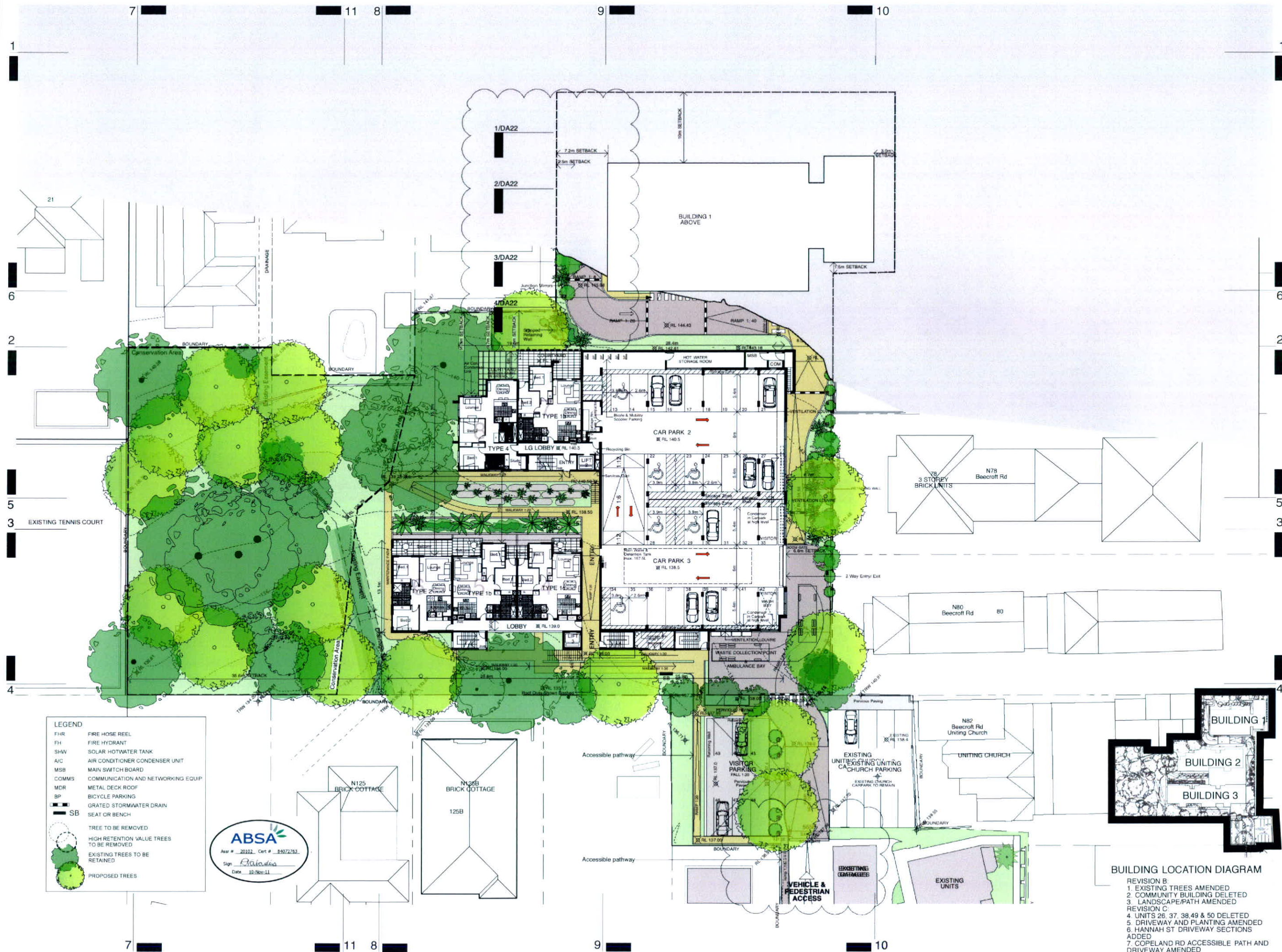


Assessor # 20102	Certificate # 84072783	Issued: 10-Nov-11
Thermal Performance Specifications		
These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification system is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and clearly indicated on referenced documents.		
Windows	Product ID	Clear
50 3mm clear	Single clear	Aluminum
U value	SHGC	Area M²
1.0	0.71	
Doors	Product ID	Clear
1.0	0.71	
Window and skylight U and SHGC values, if specified, are according to MFRG 190. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.		
External walls	Construction	Insulation
Masonry veneer	RT 5	Light SA 0.475
Masonry veneer	RT 5	Dark SA 0.27
Lightweight Fibrous cement	RT 5	Light SA 0.475
Internal walls	Construction	Insulation
Plasterboard	None	Internal unit walls
Extruded clay brick	None	10mm render both sides
Floors	Construction	Insulation
Concrete	None	Carpet
Concrete	None	Tile
Timber	None	Carpet
Ceilings	Construction	Insulation
Plasterboard	RT 5	To ceiling space with roof above
Concrete	None	To ceiling with units above
Roof	Construction	Insulation
Roofing steel	For (parking)	Dark SA 0.27
Steel roof	For 1:1.5 Blister	Light SA 0.475
Window cover	Overhead (pergolas)	External (awnings, shutters, etc)
Roll-up blinds	As per plans for awnings, pergolas and shutters	
Fixed shading	Awning (with - for gutters, 1/2 above windows)	Verandahs, Pergolas (type, description)
4/2	As per plans	
Overhanging	Overhanging structure	Overhanging mass
1.0		
Orientation, Exposure, Ventilation and Infiltration		
Orientation of nominal north	180°	
Terrace category	Suburban	
Roof ventilation	Standard	
Cross ventilation	None	
Roofing	On ground/insulated	
Living area open to entry	Yes	
Doors separate living areas	No	
Star open to heated areas	Yes (1 only)	
Seals to windows and doors	Yes	
Exhaust fans without dampers	No	
Ventilated skylights	No	
Open fire without gas heat	No	
Ventilated downlights	No	
Wall and ceiling vents	No	

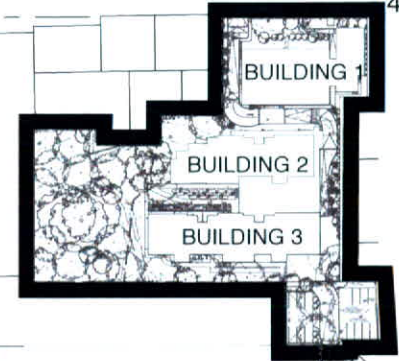


BUILDING LOCATION DIAGRAM

REVISION B:
 1. EXISTING TREES AMENDED
 2. COMMUNITY BUILDING DELETED
 3. LANDSCAPE/PATH AMENDED
 REVISION C:
 4. UNITS 26, 37, 38, 49 & 50 DELETED
 5. DRIVEWAY AND PLANTING AMENDED
 6. HANNAH ST DRIVEWAY SECTIONS ADDED
 7. COPELAND RD ACCESSIBLE PATH AND DRIVEWAY AMENDED

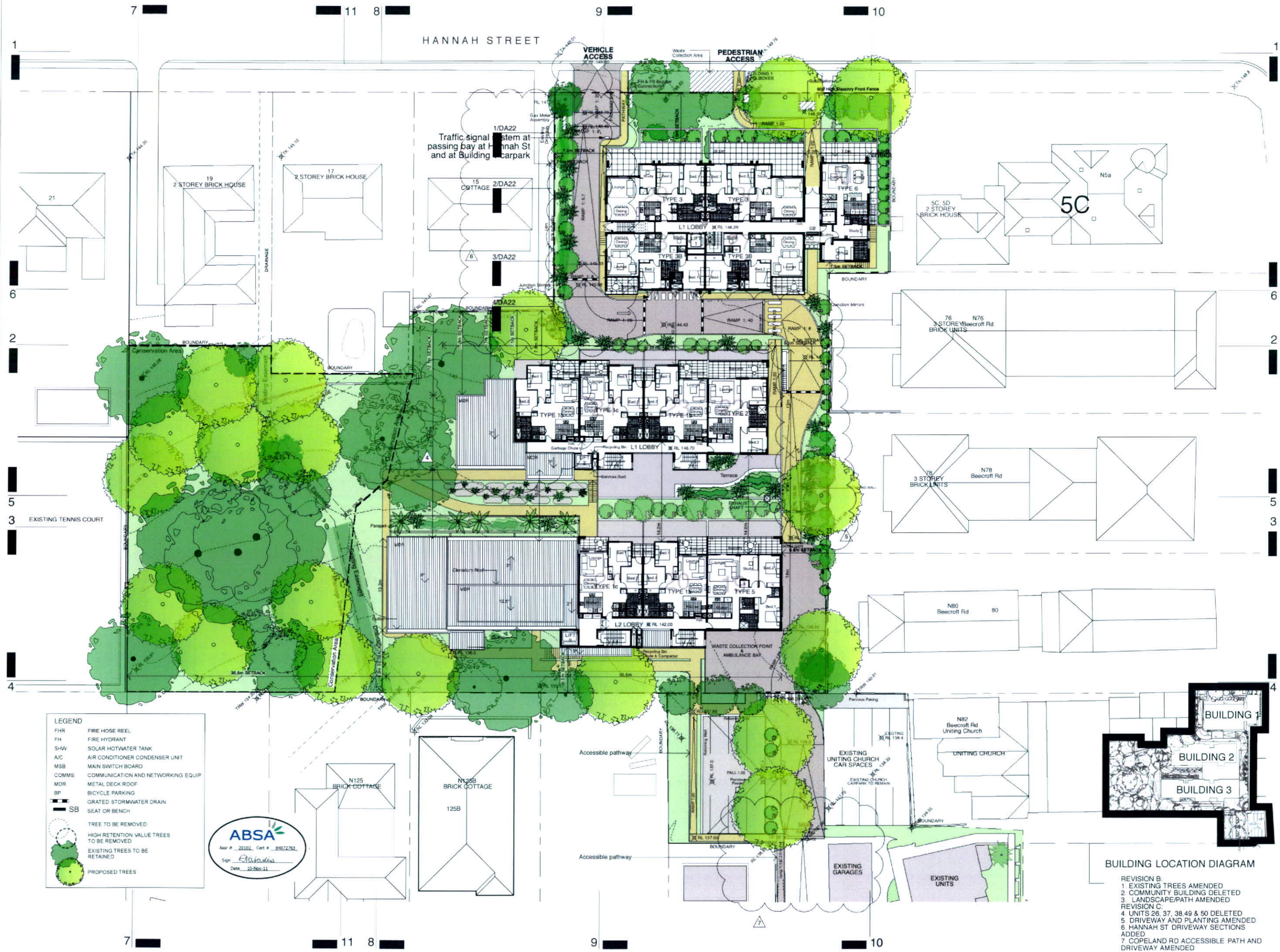


- LEGEND**
- FHR FIRE HOSE REEL
 - FH FIRE HYDRANT
 - SHW SOLAR HOTWATER TANK
 - A/C AIR CONDITIONER CONDENSER UNIT
 - MSB MAIN SWITCH BOARD
 - COMMS COMMUNICATION AND NETWORKING EQUIP
 - MDR METAL DECK ROOF
 - BP BICYCLE PARKING
 - GRATED STORMWATER DRAIN
 - SB SEAT OR BENCH
 - TREE TO BE REMOVED
 - HIGH RETENTION VALUE TREES TO BE REMOVED
 - EXISTING TREES TO BE RETAINED
 - PROPOSED TREES

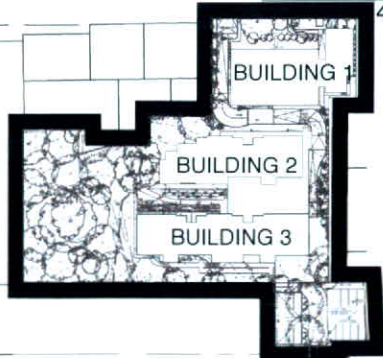


- BUILDING LOCATION DIAGRAM**
- REVISION B:
1. EXISTING TREES AMENDED
 2. COMMUNITY BUILDING DELETED
 3. LANDSCAPE/PATH AMENDED
- REVISION C:
4. UNITS 26, 37, 38, 49 & 50 DELETED
 5. DRIVEWAY AND PLANTING AMENDED
 6. HANNAH ST DRIVEWAY SECTIONS ADDED
 7. COPELAND RD ACCESSIBLE PATH AND DRIVEWAY AMENDED

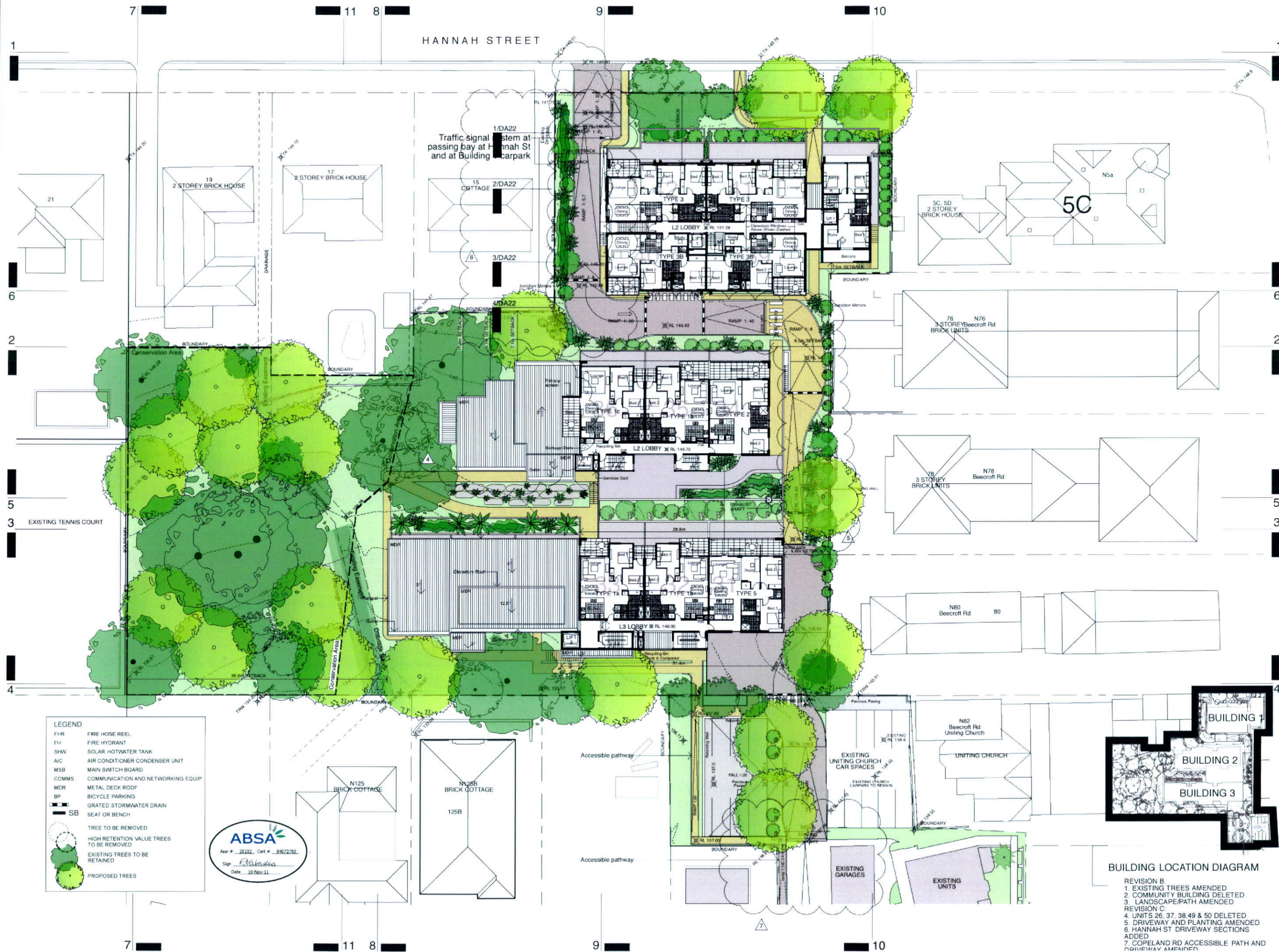




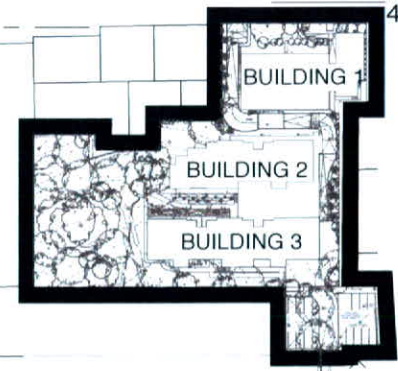
- LEGEND**
- FHR FIRE HOSE REEL
 - FH FIRE HYDRANT
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 - EXISTING TREES TO BE RETAINED
 - PROPOSED TREES



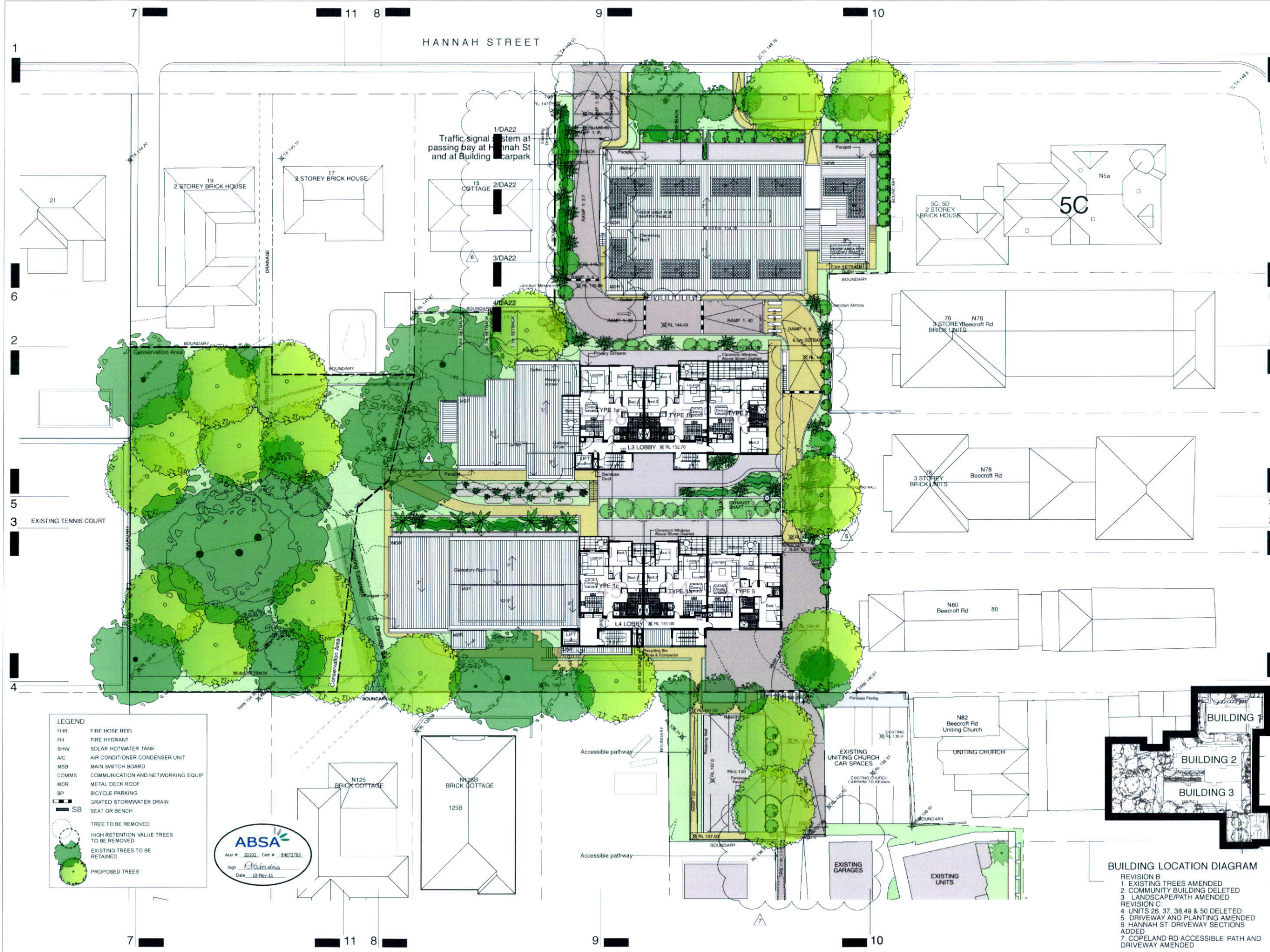
- BUILDING LOCATION DIAGRAM**
- REVISION B:
1. EXISTING TREES AMENDED
 2. COMMUNITY BUILDING DELETED
 3. LANDSCAPE/PATH AMENDED
- REVISION C:
4. UNITS 28, 37, 38, 49 & 50 DELETED
 5. DRIVEWAY AND PLANTING AMENDED
 6. HANNAH ST DRIVEWAY SECTIONS ADDED
 7. COPELAND RD ACCESSIBLE PATH AND DRIVEWAY AMENDED



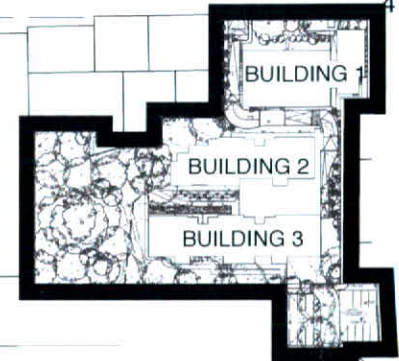
- LEGEND**
- FHR FIRE HOSE REEL
 - FH FIRE HYDRANT
 - SHV SOLAR HOTWATER TANK
 - A/C AIR CONDITIONER CONDENSER UNIT
 - MSB MAIN SWITCH BOARD
 - COMMS COMMUNICATION AND NETWORKING EQUIP
 - MDR METAL DECK ROOF
 - BP BICYCLE PARKING
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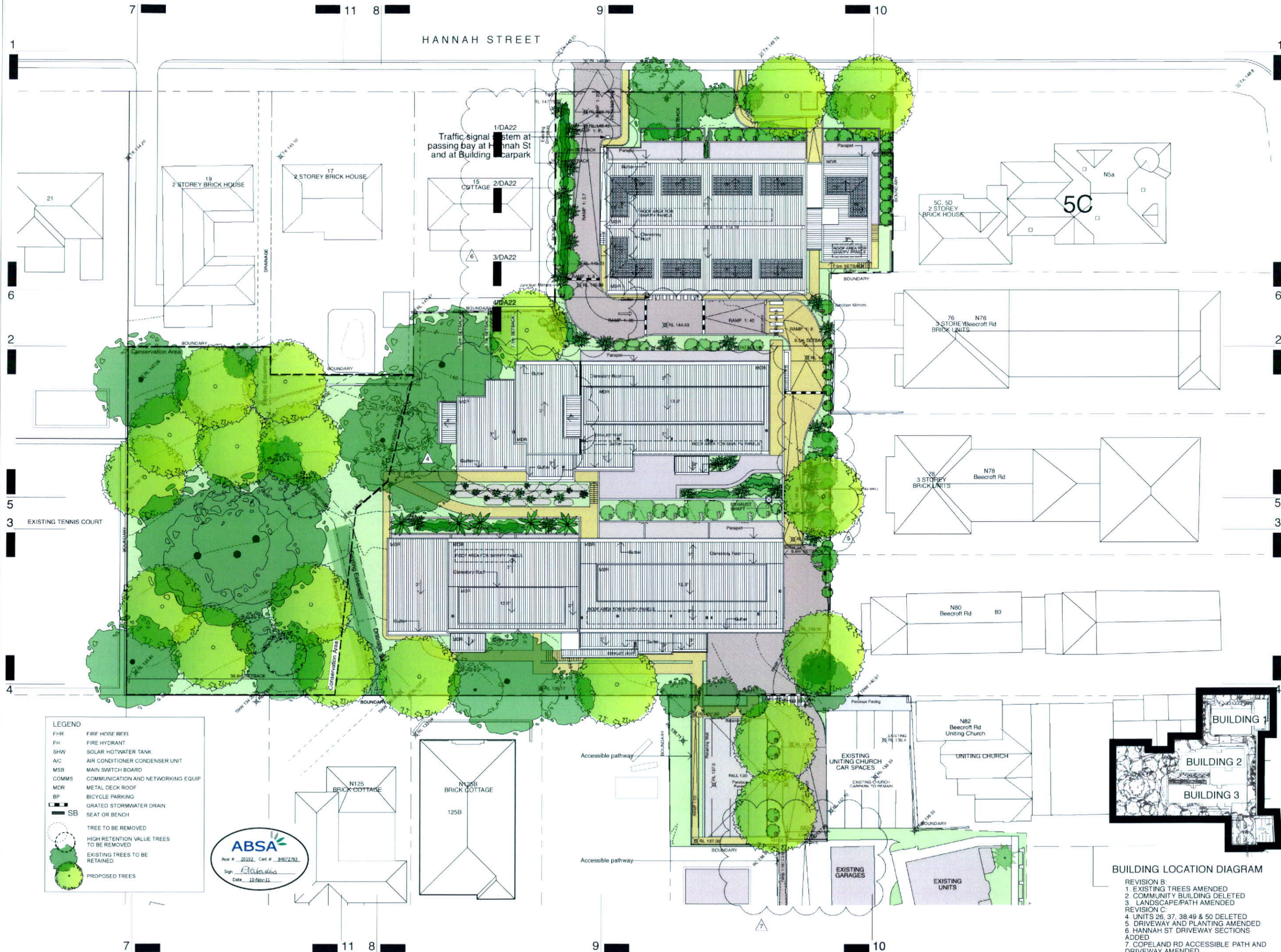
- BUILDING LOCATION DIAGRAM**
- REVISION B:
1. EXISTING TREES AMENDED
 2. COMMUNITY BUILDING DELETED
 3. LANDSCAPE/PATH AMENDED
- REVISION C:
4. UNITS 26, 37, 38, 49 & 50 DELETED
 5. DRIVEWAY AND PLANTING AMENDED
 6. HANNAH ST DRIVEWAY SECTIONS ADDED
 7. COPELAND RD ACCESSIBLE PATH AND DRIVEWAY AMENDED



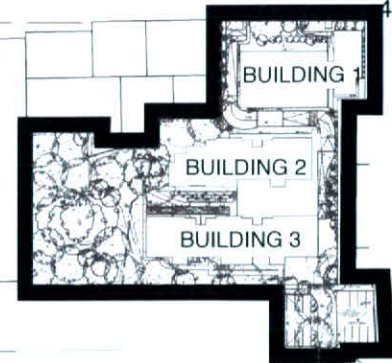
- LEGEND**
- FHR FIRE HOSE REEL
 - FH FIRE HYDRANT
 - SHW SOLAR HOTWATER TANK
 - A/C AIR CONDITIONER CONDENSER UNIT
 - MSB MAIN SWITCH BOARD
 - COMMS COMMUNICATION AND NETWORKING EQUIP
 - MDR METAL DECK ROOF
 - BP BICYCLE PARKING
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 - TREE TO BE REMOVED
 - HIGH RETENTION VALUE TREES TO BE REMOVED
 - EXISTING TREES TO BE RETAINED
 - PROPOSED TREES



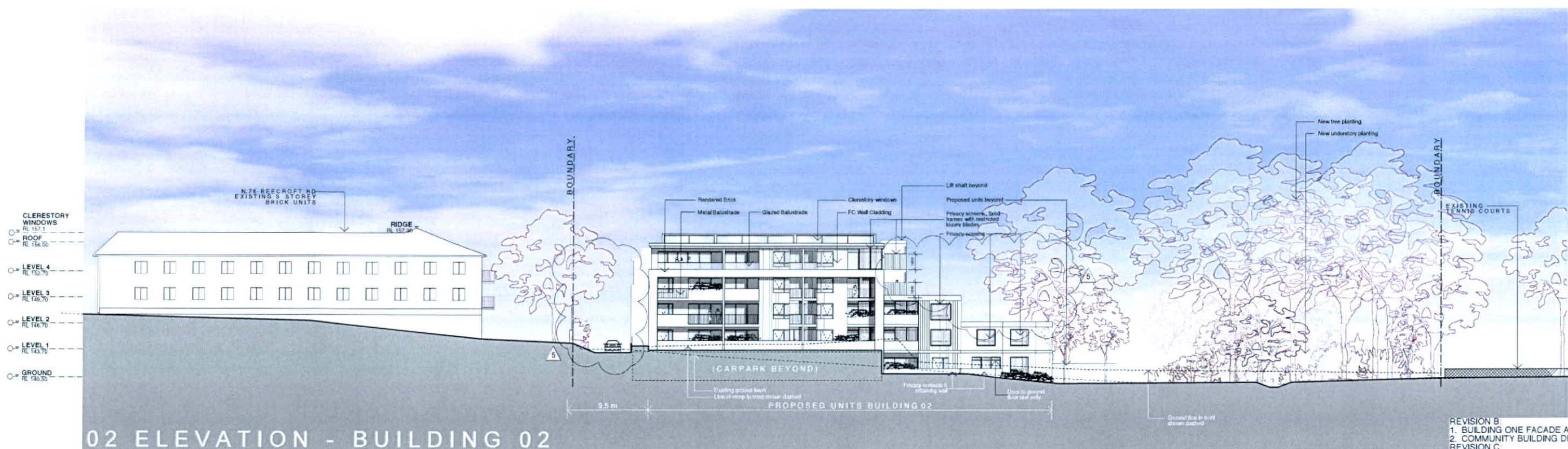
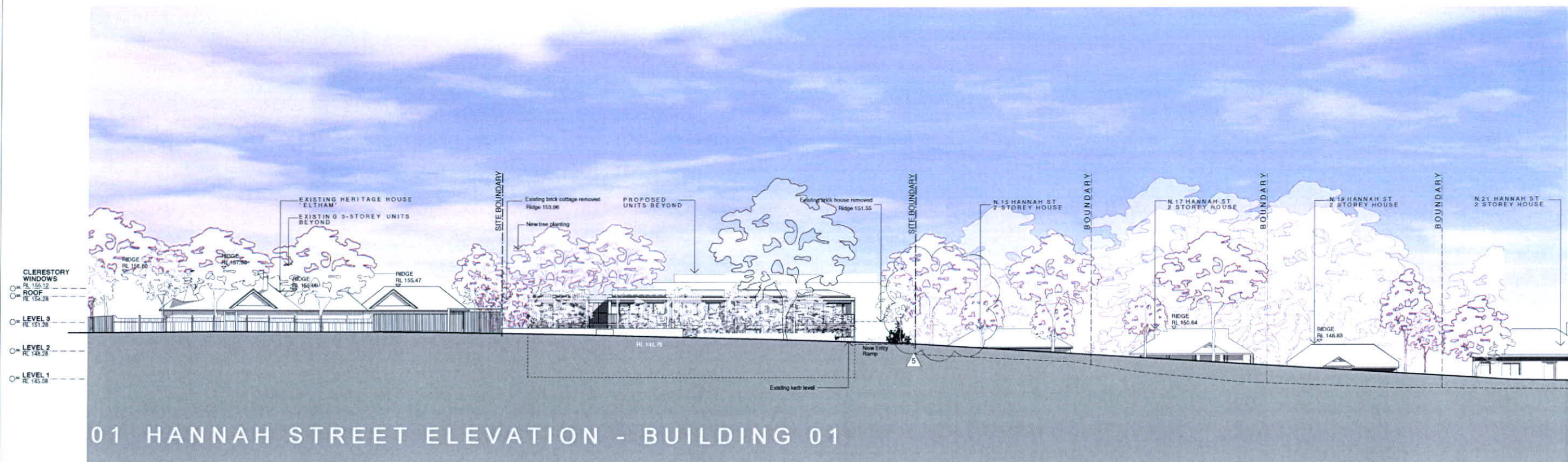
- BUILDING LOCATION DIAGRAM**
- REVISION B
- 1. EXISTING TREES AMENDED
 - 2. COMMUNITY BUILDING DELETED
 - 3. LANDSCAPE/PATH AMENDED
- REVISION C
- 4. UNITS 26, 37, 38, 49 & 50 DELETED
 - 5. DRIVEWAY AND PLANTING AMENDED
 - 6. HANNAH ST DRIVEWAY SECTIONS ADDED
 - 7. COPELAND RD ACCESSIBLE PATH AND DRIVEWAY AMENDED



- LEGEND**
- FHR FIRE HOSE REEL
 - FH FIRE HYDRANT
 - SHW SOLAR HOTWATER TANK
 - A/C AIR CONDITIONER CONDENSER UNIT
 - MSB MAIN SWITCH BOARD
 - COMMS COMMUNICATION AND NETWORKING EQUIP
 - MDR METAL DECK ROOF
 - BP BICYCLE PARKING
 - GRATED STORMWATER DRAIN
 - SB SEAT OR BENCH
 - TREE TO BE REMOVED
 - HIGH RETENTION VALUE TREES TO BE REMOVED
 - EXISTING TREES TO BE RETAINED
 - PROPOSED TREES



- BUILDING LOCATION DIAGRAM**
- REVISION B:
1. EXISTING TREES AMENDED
2. COMMUNITY BUILDING DELETED
3. LANDSCAPE/PATH AMENDED
REVISION C:
4. UNITS 26, 37, 38, 49 & 50 DELETED
5. DRIVEWAY AND PLANTING AMENDED
6. HANNAH ST DRIVEWAY SECTIONS
ADDED
7. COPELAND RD ACCESSIBLE PATH AND
DRIVEWAY AMENDED



REVISION B:
1. BUILDING ONE FACADE AMENDED
2. COMMUNITY BUILDING DELETED
REVISION C:
3. ADDITIONAL SCREEN TREES SHOWN TO HANNAH ST.
4. ADDITIONAL PLANTERS TO WEST SIDE BALCONIES
REVISION D:
5. UNITS 26, 37, 38, 49 & 50 DELETED
6. SCREEN PLANTING AND DRIVEWAY AMENDED



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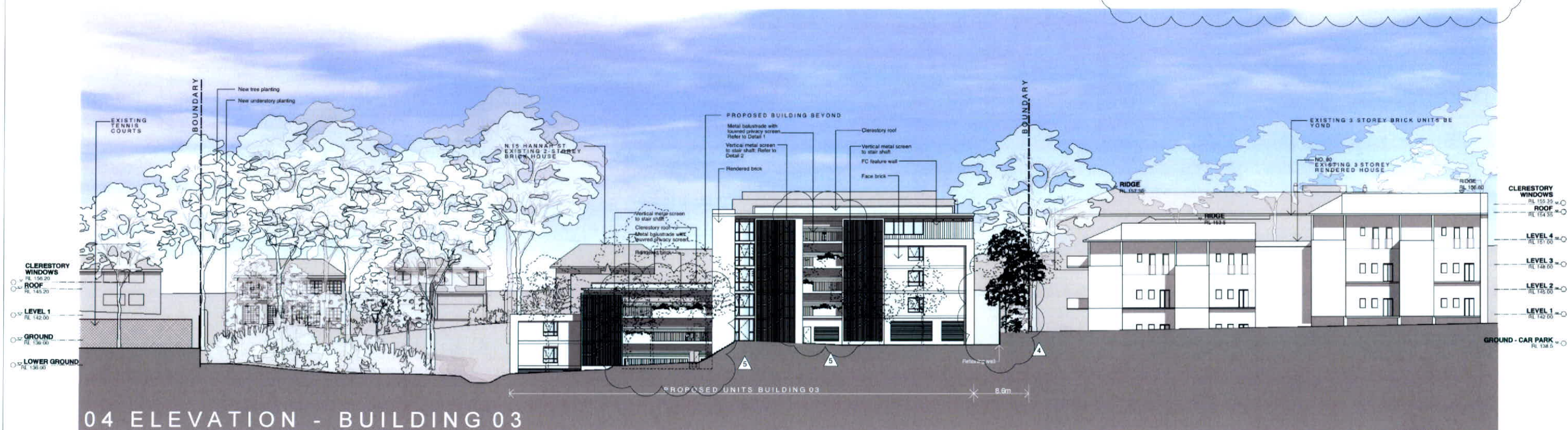
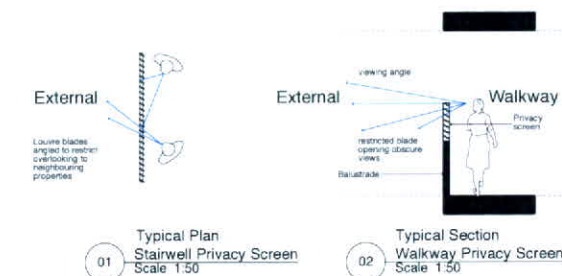
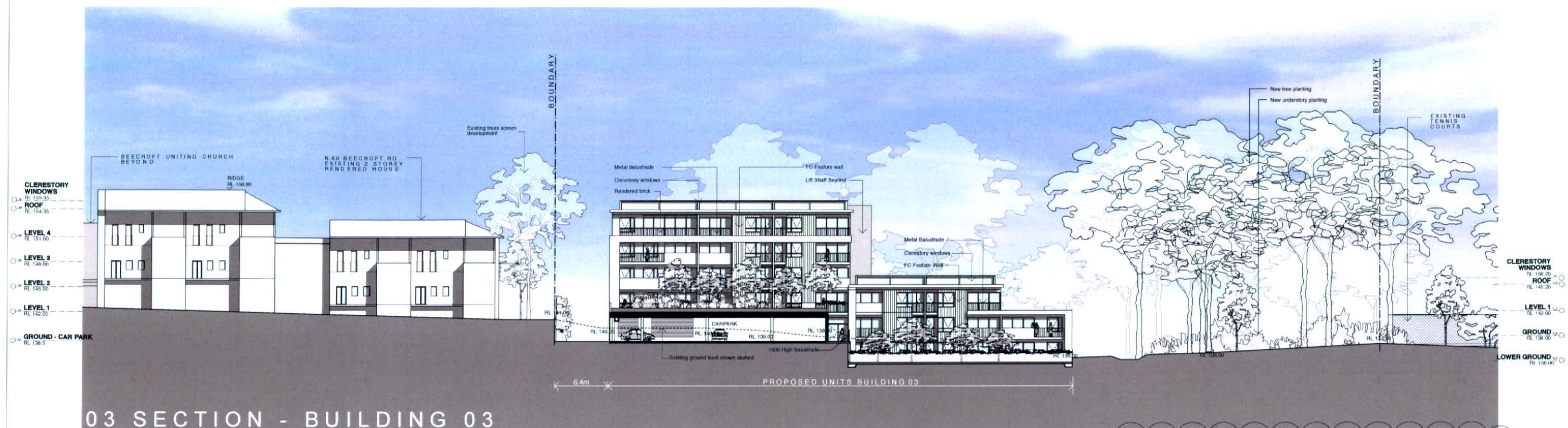
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ELEVATIONS 01 + 02
REV. D [46 Units]

DA11

Scale @ B1: 1:200

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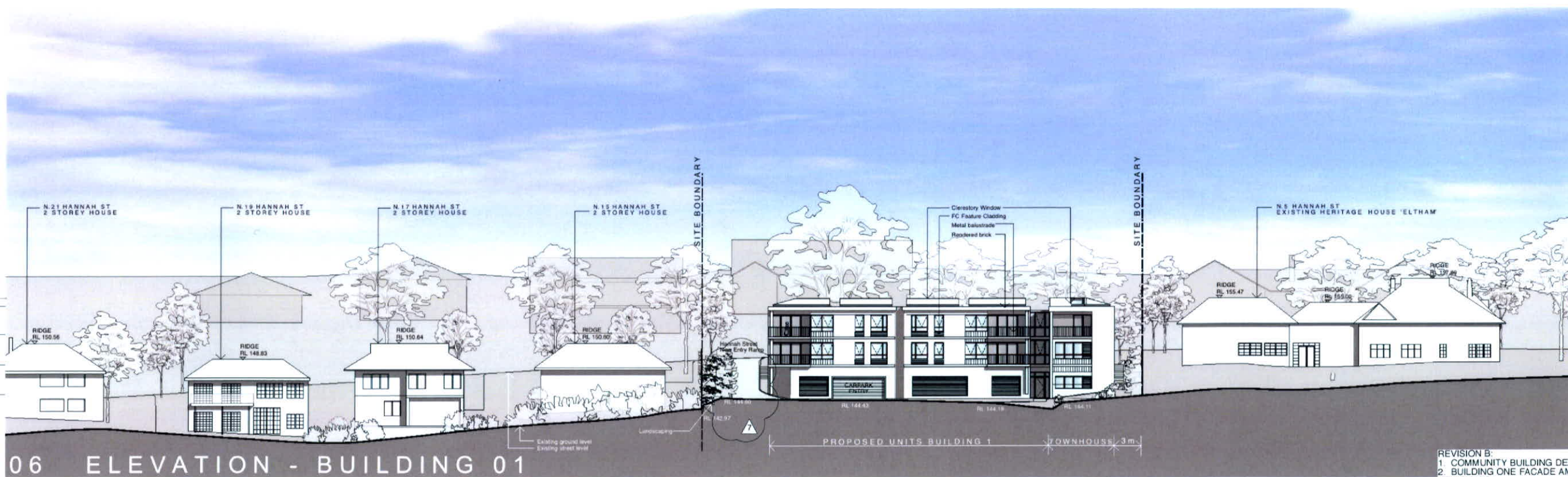
REVISION B:
1. COMMUNITY BUILDING DELETED
REVISION C:
2. SCREEN TREES SHOWN DOTTED.
3. ADDITIONAL PLANTERS SHOWN
REVISION D:
4. DRIVEWAY AMENDED
5. PRIVACY SCREENS AND DETAILS ADDED

Scale @ B1: 1:200
DA12
ELEVATIONS 03 + 04
REV. D [46 Units]
10/4/12

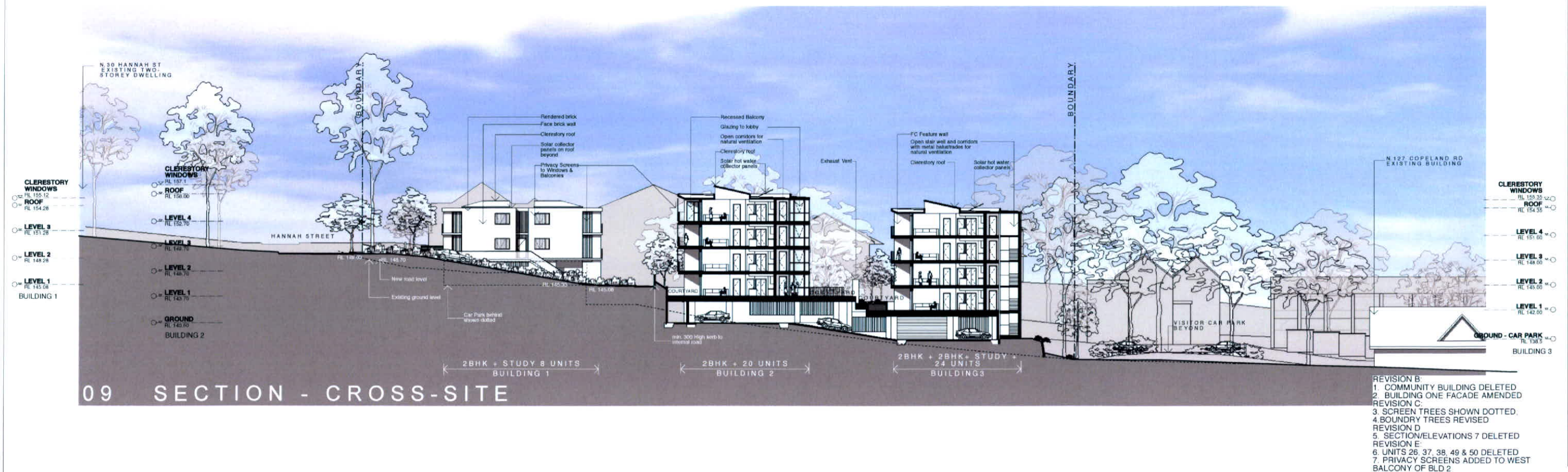
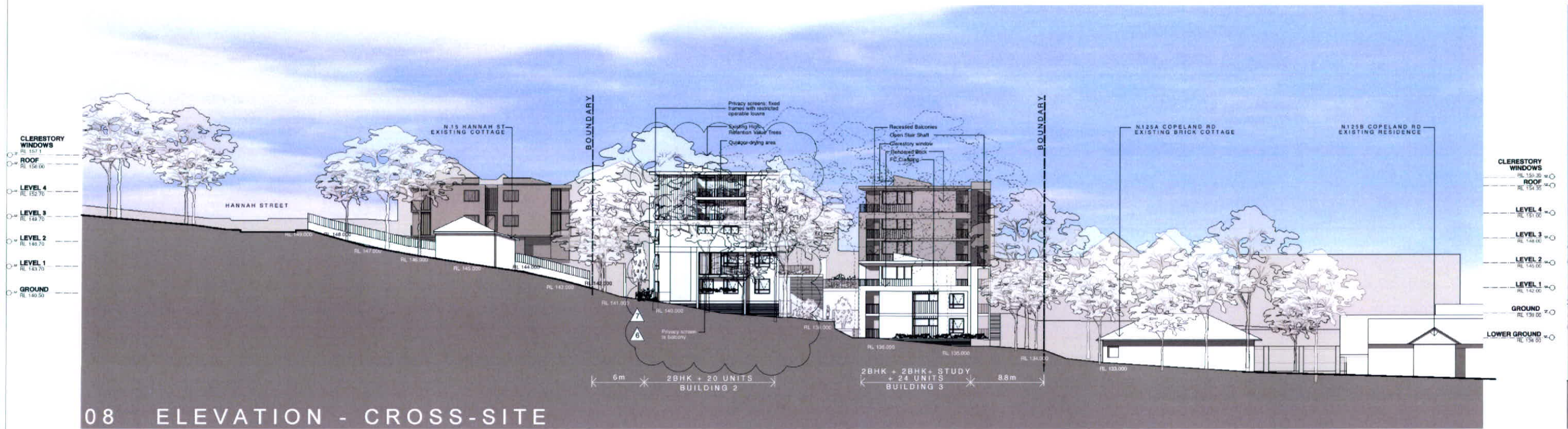
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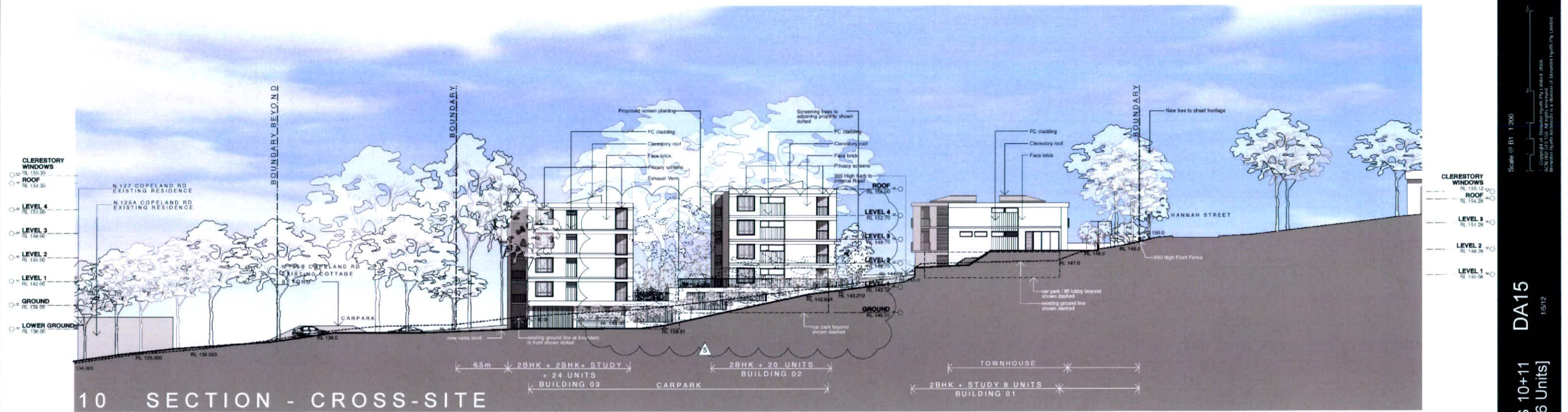


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REVISION B:
1. COMMUNITY BUILDING DELETED
2. BUILDING ONE FACADE AMENDED
REVISION C:
3. FOREST UNDERCROFT PLANTING SHOWN;
4. TERRACE PLANTERS SHOWN;
5. BOUNDARY PLANTING AMENDED
REVISION D
6. UNITS 26, 37, 38 49 & 50 DELETED
7. DRIVEWAY AND PLANTING AMENDED
8. VERTICAL ACCESS AMENDED

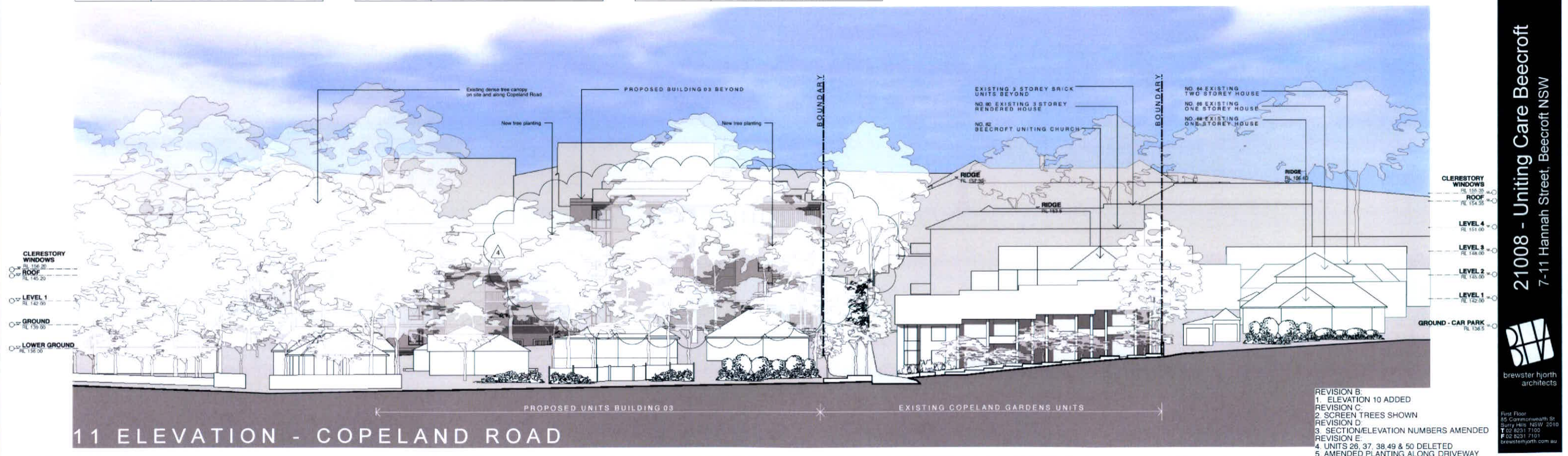
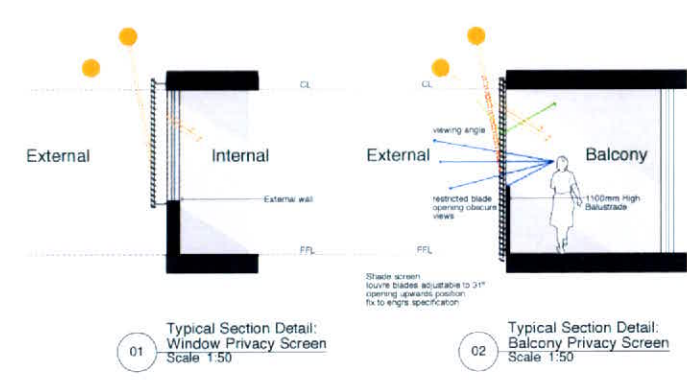


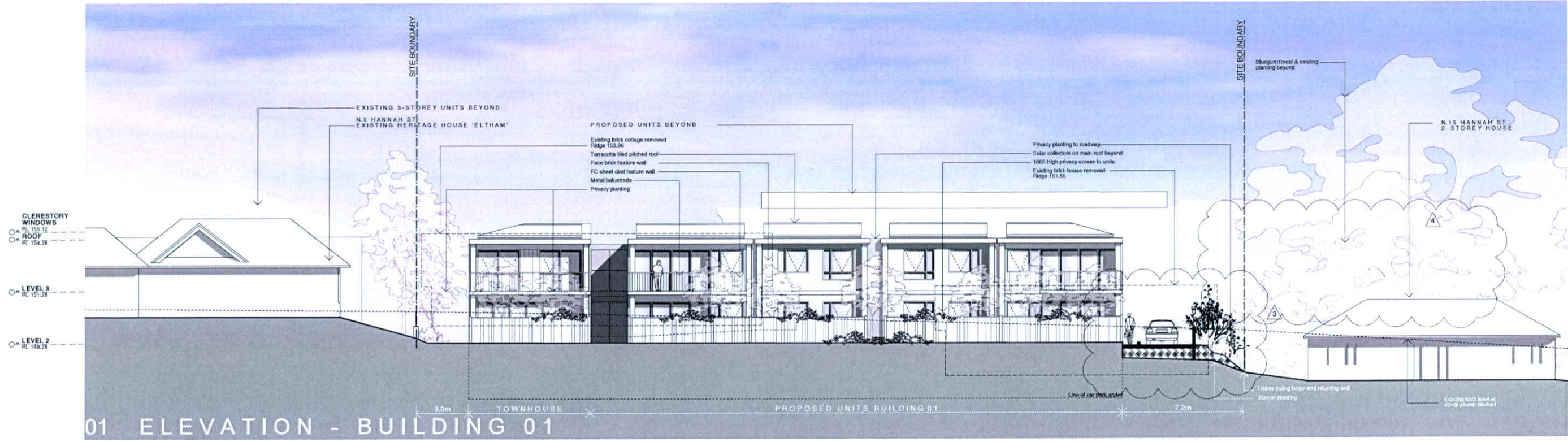


BASIC ITEM	PROJECT REQUIREMENTS
LANDSCAPING - COMMON AREAS AND INDIVIDUAL APARTMENTS	- EXPLANATION: SITE AREA INCLUDES 100M² AND 'FORMAL' GARDEN AREAS MAY BE REGENERATED. THE MAJORITY OF THE SITE IS TO BE PLANTED AS INDIGENOUS PLANTINGS OR NATURALLY OCCURRING VEGETATION WHICH ARE NOT TO BE ACTIVELY WATERED OR PROVIDED WITH A WATERING SYSTEM. A NOMINATED MAXIMUM TOTAL OF 60M² OF ACTIVE COMMON AREA GARDENS WHICH WILL BE WATERED, APPROXIMATELY 50% OF THE GARDEN PLANTINGS IN THIS AREA ARE ALSO TO BE LOW WATER USE OR INDIGENOUS LANDSCAPING. - MINOR 'TREETOP' AND 'LANDSCAPE' PLANTINGS FOR SOME INDIVIDUAL APARTMENTS IS TO BE PROVIDED, AS REFERENCED IN THE BASIX CERTIFICATE.
WATER COMMITMENTS - CENTRAL SYSTEMS	- CENTRAL WATER TANK: - CENTRAL WATER TANK OF AT LEAST 15,000L. - CENTRAL WATER TANK SUPPLIED BY AT LEAST 150M² OF ROOF AREA OF THE DEVELOPMENT. - CENTRAL WATER TANK TO BE USED FOR COMMON AREA GARDEN WATERING AND FOR AT LEAST ONE CAR WASHING BAY.
WATER COMMITMENTS - INDIVIDUAL APARTMENTS	- EACH APARTMENT REQUIRES: 3 STAR RATED SHOWER HEADS (RL-7.5 MIN). 4 STAR RATED TOILETS. 4 STAR RATED KITCHEN AND BATHROOM TAPS. 3 STAR RATED DISHWASHERS.

THERMAL COMFORT - SIMULATION METHOD	- EACH APARTMENT REQUIRES: - GLAZING - STANDARD SINGLE CLEAR GLAZING IN ALUMINIUM FRAMES TO ALL WINDOW/VLZED DOORS. - EXTERNAL BRICK VENER WALL INSULATION - R1.5. - EXTERNAL THERMOCLIMATE WALL INSULATION - R1.5. - CEILING INSULATION - R1.5 FOR APARTMENTS WITH ROOF SPACE. - ROOF INSULATION - FOL (BARKING) FOR APARTMENTS WITH ROOF. - WEATHER STRIPPING TO ALL DOORS AND WINDOWS. - REFER TO THE LITTLE DOWELLING AND EACH INDIVIDUAL ABSA SPECIFICATION FOR DETAILS.
ENERGY COMMITMENTS - COMMON AREAS	- COMMON AREA LIGHTING: - PULL-ROD LIGHTING TO ALL COMMON AREAS. - CARPARKS AND ALL STAIRWAYS ARE TO BE PROVIDED WITH LIGHTING THAT IS CONTROLLED BY MOTION SENSORS. - ALL HALLWAYS AND Lobbies ARE TO BE PROVIDED WITH LIGHTING THAT IS CONTROLLED BY DAYLIGHT SENSORS WITH MOTION SENSORS. - OTHER COMMON AREAS ARE TO BE PROVIDED WITH LIGHTING CONTROLS THAT ARE MANUAL ON / MANUAL OFF. - COMMON AREA VENTILATION: - CARPARK 1 IS TO BE PROVIDED WITH NO EXHAUST VENTILATION. - CENTRAL VENTILATION (ONLY). - CARPARK 2 AND 3 ARE TO BE PROVIDED WITH EXHAUST VENTILATION (NO ENERGY EFFICIENCY MEASURES). - GARAGE ROOMS ARE TO BE PROVIDED WITH VENTILATION EXHAUST ONLY (NO EFFICIENCY MEASURES). - ALL OTHER COMMON AREAS ARE TO BE PROVIDED WITH MECHANICAL VENTILATION.

ENERGY COMMITMENTS - CENTRAL SYSTEMS	- LIFT: - ALL LIFTS ARE TO BE GRABBLE TRACTION LIFT WITH VVVF MOTOR. - LIFT IS TO CONNECT 1, 5 AND 6 LEVELS (FOR DEPENDENT BUILDING). - LIFTS ARE TO BE PROVIDED WITH FLUORESCENT LIGHTING THAT IS CONNECTED TO THE LIFT CALL BUTTON. - DEHUMIDIFICATION SYSTEM: - THE DEVELOPMENT IS TO BE PROVIDED WITH A PHOTOVOLTAIC ALTERNATIVE ENERGY SYSTEM WITH A MINIMUM RATED ELECTRICAL OUTPUT OF 15KW.
ENERGY COMMITMENTS - INDIVIDUAL APARTMENTS	- EACH APARTMENT REQUIRES: 3 STAR GAS INSTANTANEOUS HOT WATER SYSTEM. - BATHROOMS, LAUNDRIES AND KITCHENS ARE TO HAVE DUCTED FANS - MANUAL SWITCH ON/OFF. - SINGLE PHASE AIR CONDITIONING TO BE INSTALLED: EER 2.5-3.0 FOR COOLING AND EER 1.0-1.5 FOR HEATING OR HIGHER. AIR CONDITIONING TO BE ZONED BETWEEN BEDROOMS AND LIVING AREAS. - NATURAL LIGHTING AVAILABILITY TO BATHROOMS AS SCHEDULED IN THE BASIX CERTIFICATE. NO NATURAL LIGHTING FOR KITCHENS. - ELECTRIC COOKTOP AND ELECTRIC OVEN. - INDOOR CLOTHES DRYING LINE OR RACK. 1 STAR ENERGY RATED DISHWASHERS. - WELL VENTILATED REFRIGERATION SPACE. - ALL APARTMENTS ARE TO BE PROVIDED WITH FLUORESCENT LIGHTING, COMPACT FLUORESCENT LIGHTING OR LED LIGHTING TO THE FOLLOWING ROOMS: - ALL BEDROOMS. - TWO LIVING DINING AREAS. - ALL HALLWAYS. - KITCHEN. - ALL BATHROOMS, TOILETS AND LAUNDRIES.





Scale @ B1 : 1:100

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ELEVATIONS Bldg 01
 REV. D [46 Units]

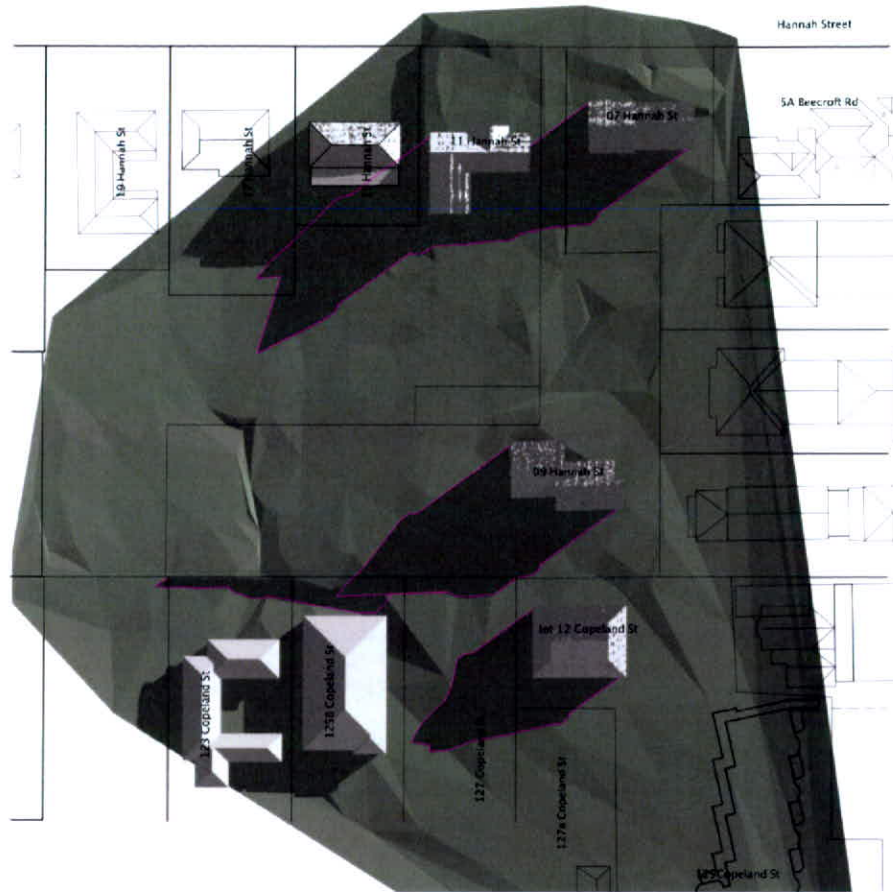
DA16
 20/01/2

21008 - Uniting Care Beecroft
 7-11 Hannah Street, Beecroft NSW

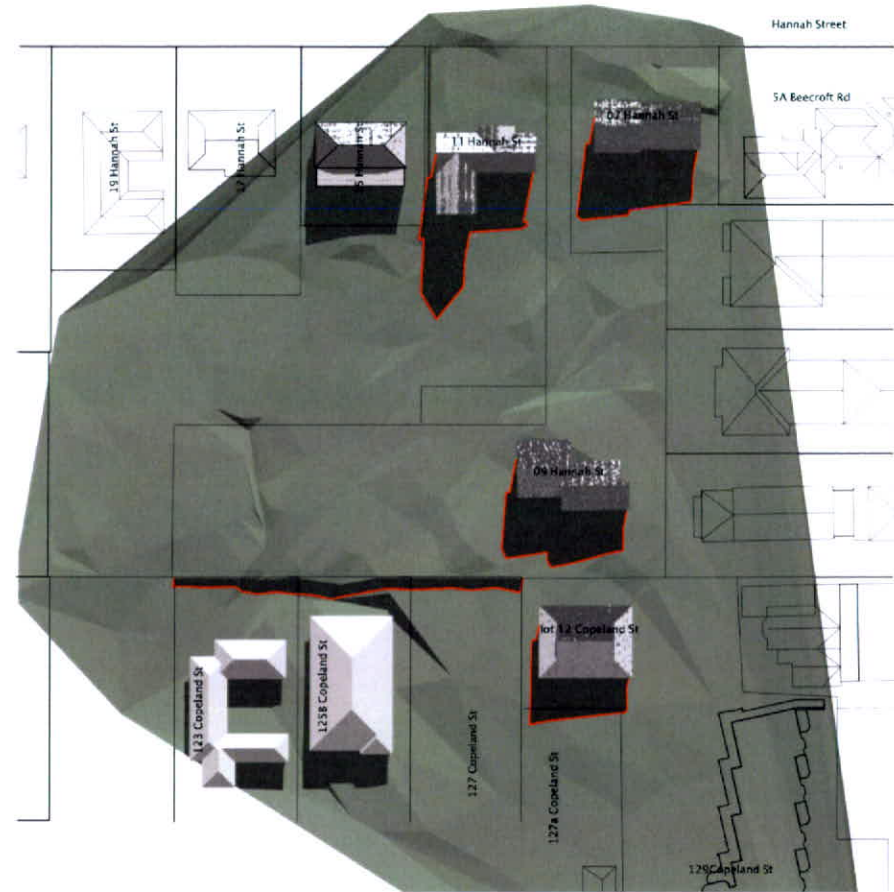


REVISION B:
 1. BUILDING ONE ELEVATION AMENDED
 REVISION C:
 2. ELEVATION NUMBER AMENDED
 REVISION D:
 3. AMENDED DRIVEWAY AND PLANTING
 4. UNIT 26, 38, 49 & 50 DELETED

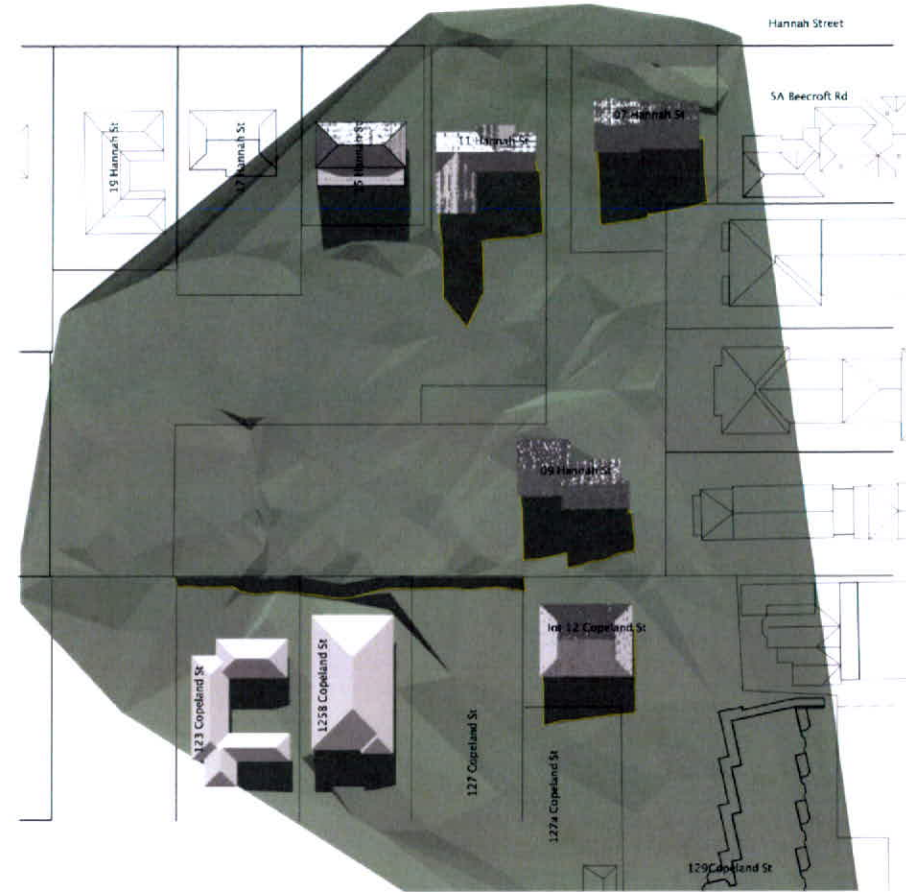
First Floor
 85 Commonwealth St
 Surry Hills, NSW 2010
 T 02 8231 7100
 F 02 8231 7101
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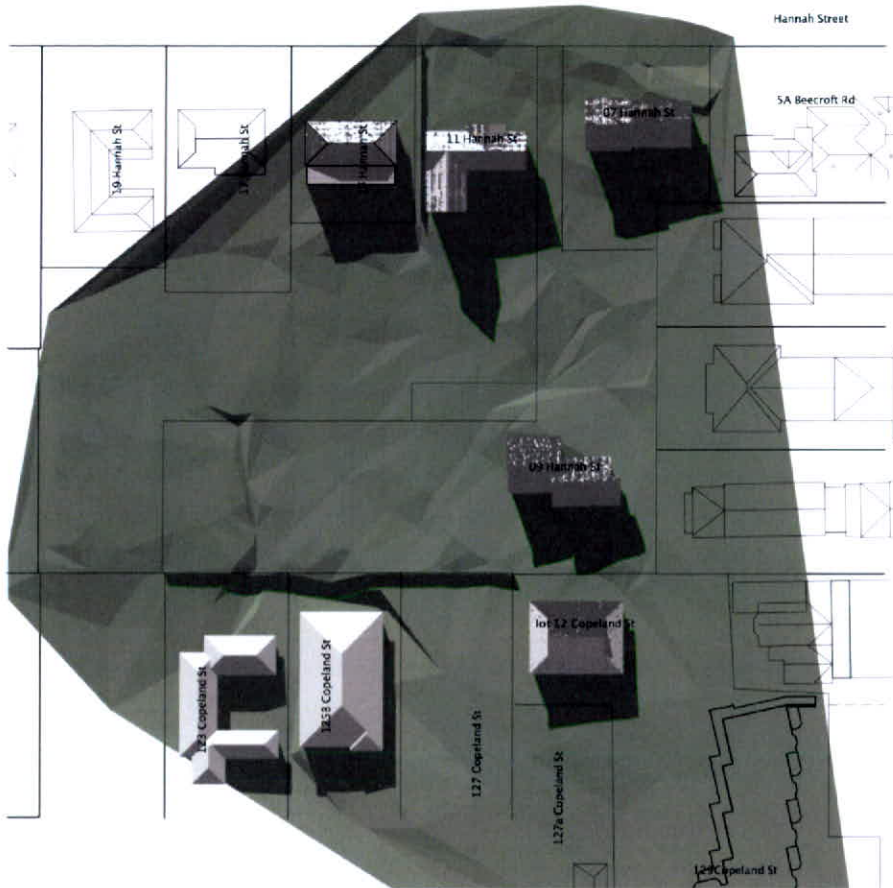
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9am JUN 22
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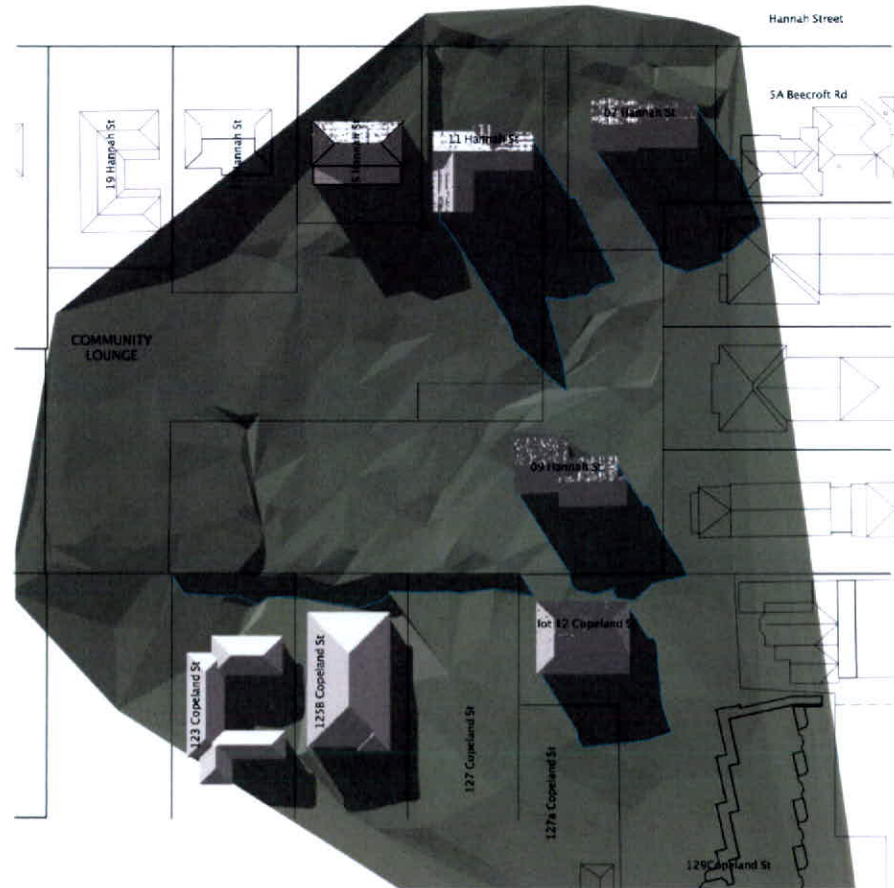
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12noon JUN 22
Scale: 1:500



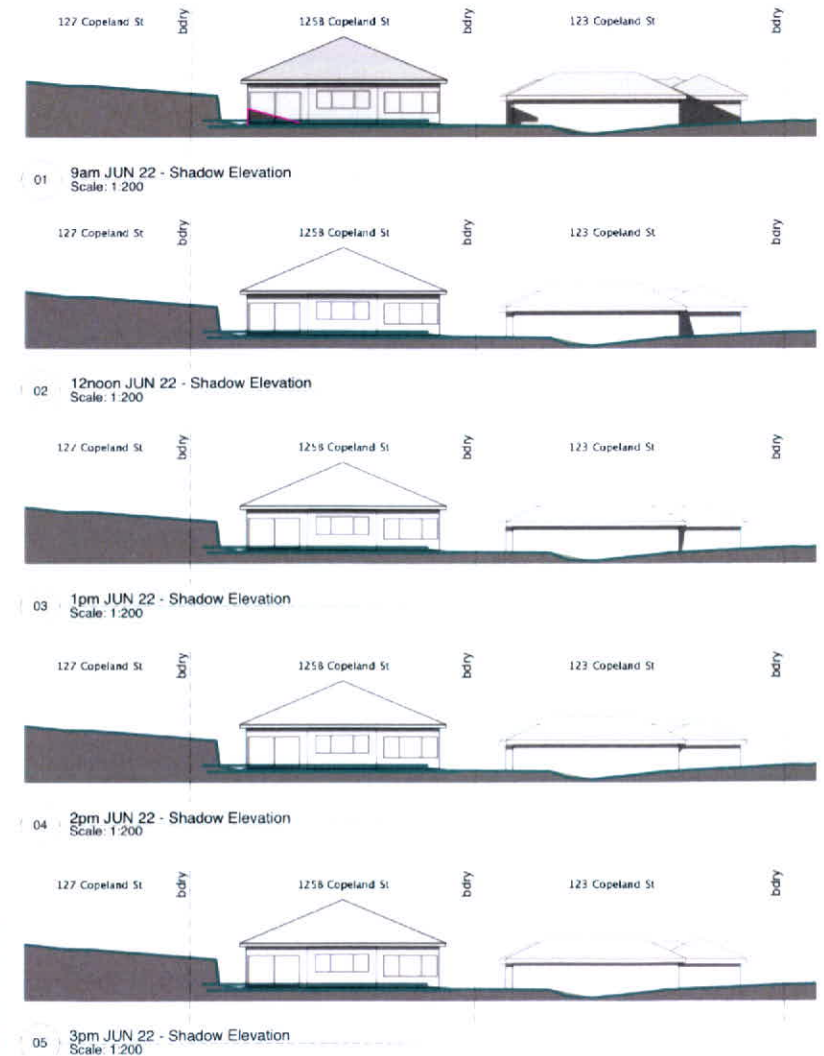
03 PLAN
1pm JUN 22
Scale: 1:500



04 PLAN
2pm JUN 22
Scale: 1:500



05 PLAN
3pm JUN 22
Scale: 1:500



THIS SUN STUDY WAS CREATED FROM DATA SUPPLIED BY LEAN LACKENBY & HAYWARD SURVEY DRAWING No. 59302 USING A MODEL CREATED IN VECTORWORKS 2010, AND A HELIOGRAPH RENDERING IN RENDERWORKS. IT IS ACCURATE IN ITS REPRESENTATION OF SHADOWS CAST BY THE PROPOSED BUILDINGS BUT TAKES NO ACCOUNT OF FENCES, TREES AND OTHER VEGETATION.



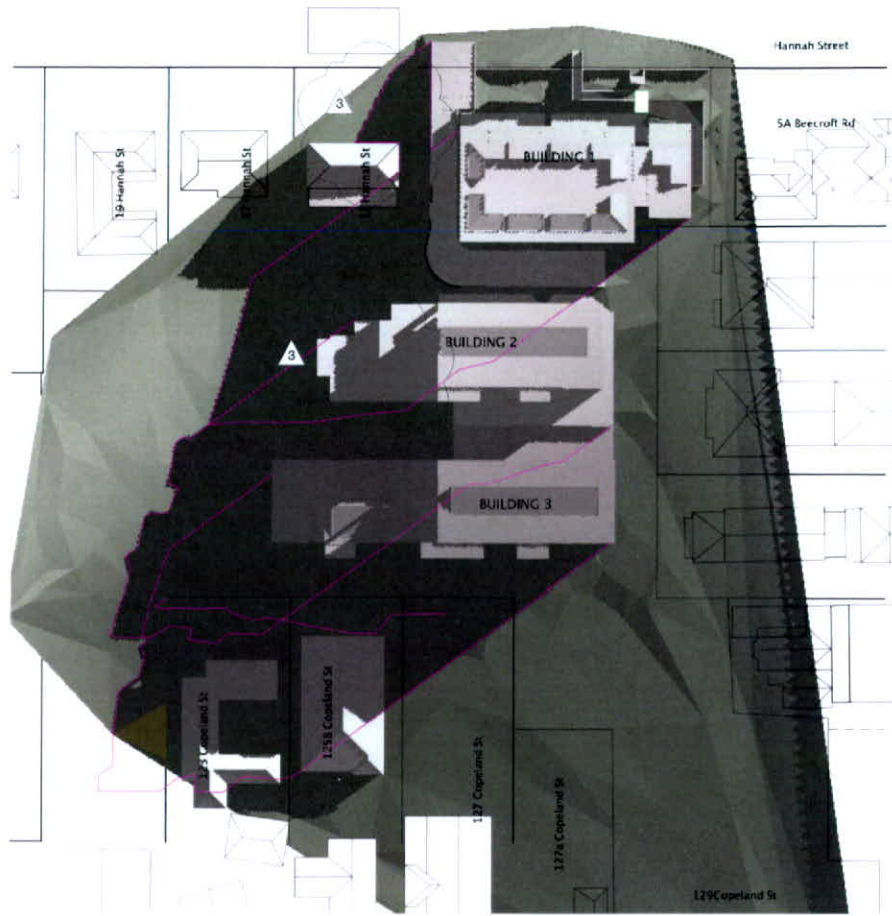
Existing Shadow Analysis - 22 June DA17.1
REV B [46 Units]

Uniting Care Beecroft Residential
5-11 Hannah Street

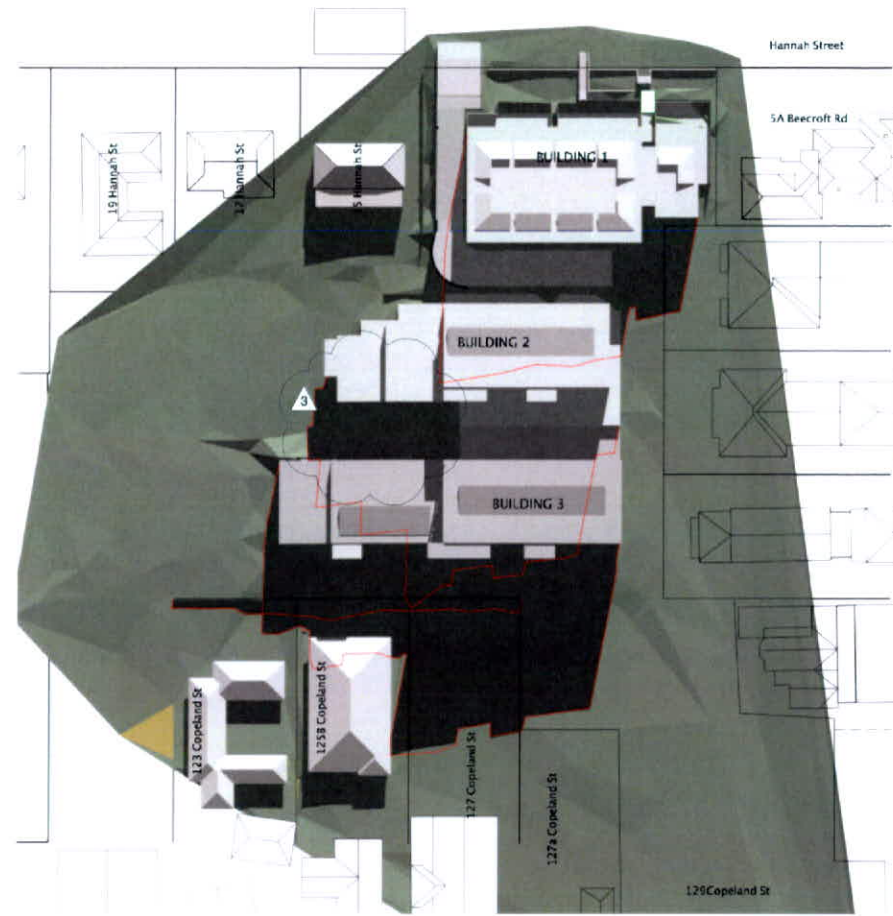


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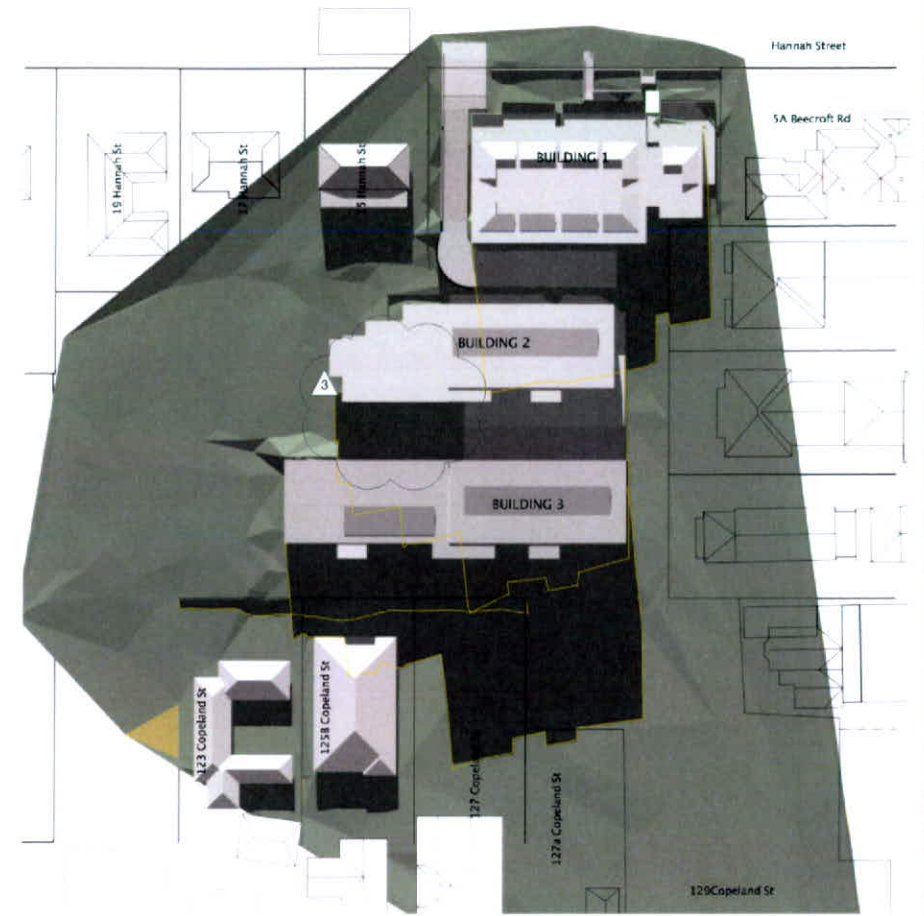
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Scale 1:500 @ B1
154/12

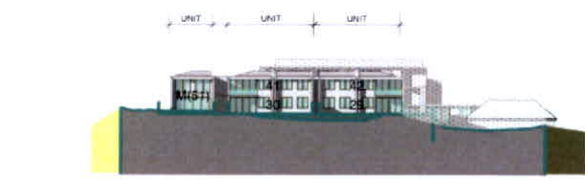


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9am JUN 22
Scale: 1:500

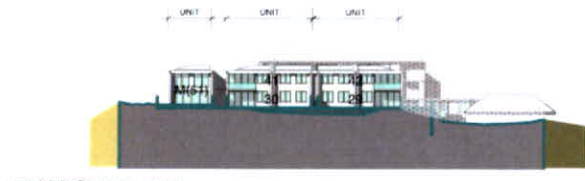


02 PLAN
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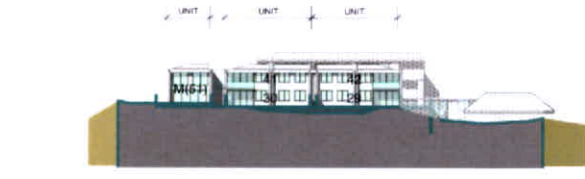




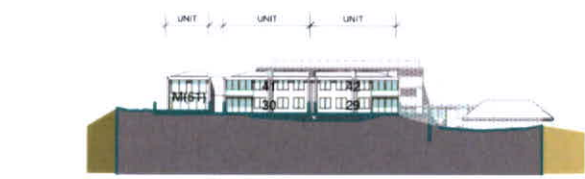
9AM ON 22 JUN



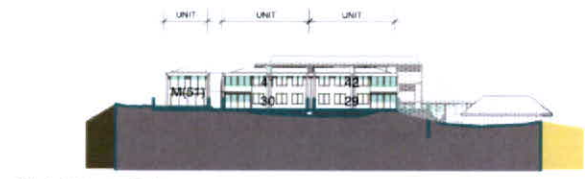
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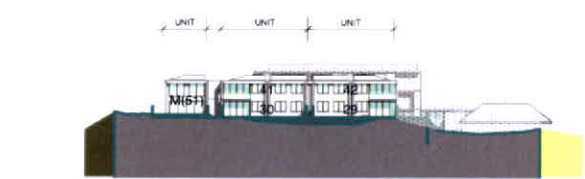
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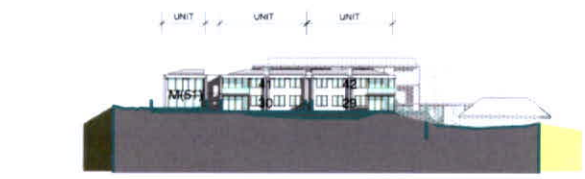
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1PM ON 22 JUN

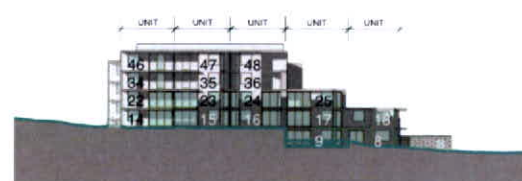


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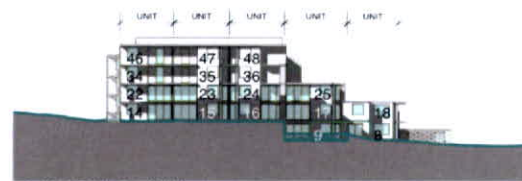


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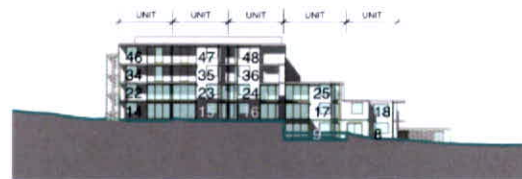
BUILDING 1 - NORTHERN ELEVATION



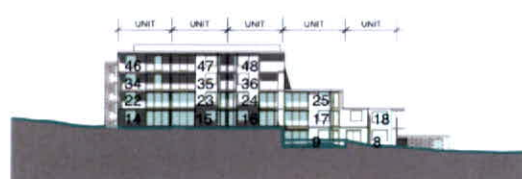
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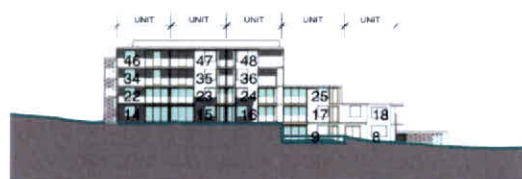
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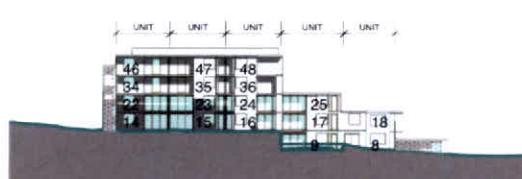
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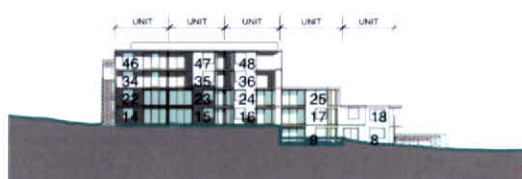
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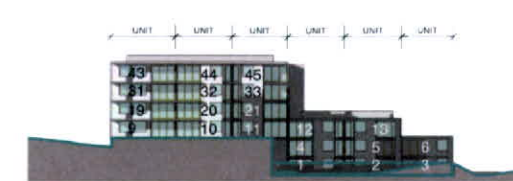


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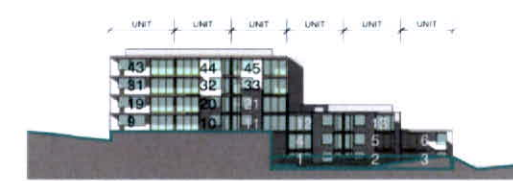


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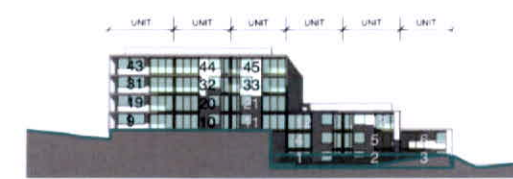
BUILDING 2 - NORTHERN ELEVATION



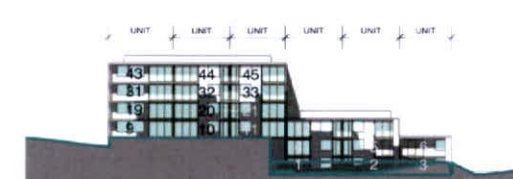
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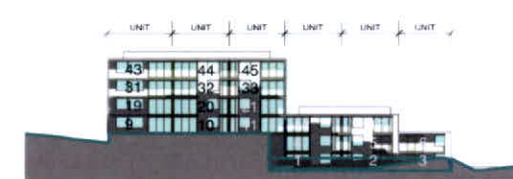
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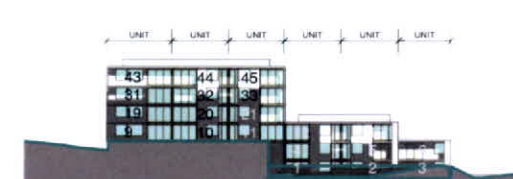
11AM ON 22 JUN



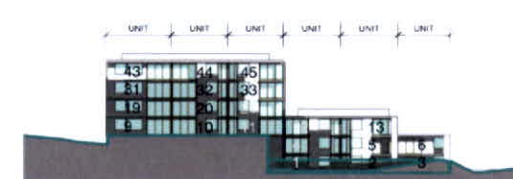
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1PM ON 22 JUN



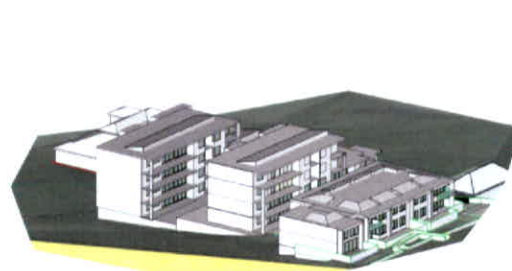
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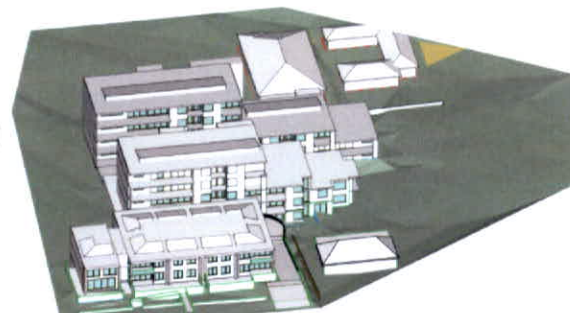
3PM ON 22 JUN

BUILDING 3 - NORTHERN ELEVATION

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STATIC VIEW FROM THE SUN @ 9AM



STATIC VIEW FROM THE SUN @ 12NOON



STATIC VIEW FROM THE SUN @ 1PM



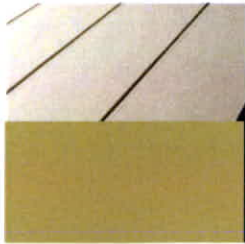
STATIC VIEW FROM THE SUN @ 2PM



STATIC VIEW FROM THE SUN @ 3PM



Face Brick; EQ. to Boral Horizon Axinite



FC Sheet Cladding; EQ. to Scyon Axon; Colour Dulux Ploughed Earth.



Rendered Brick; EQ. to Dulux Hogs Bristle 1/4



Timber Screen/Fence; EQ. to Dulux Very Terracotta



Roof Tiles; EQ. to Boral Terracotta Shingle; Colour Sydney Red



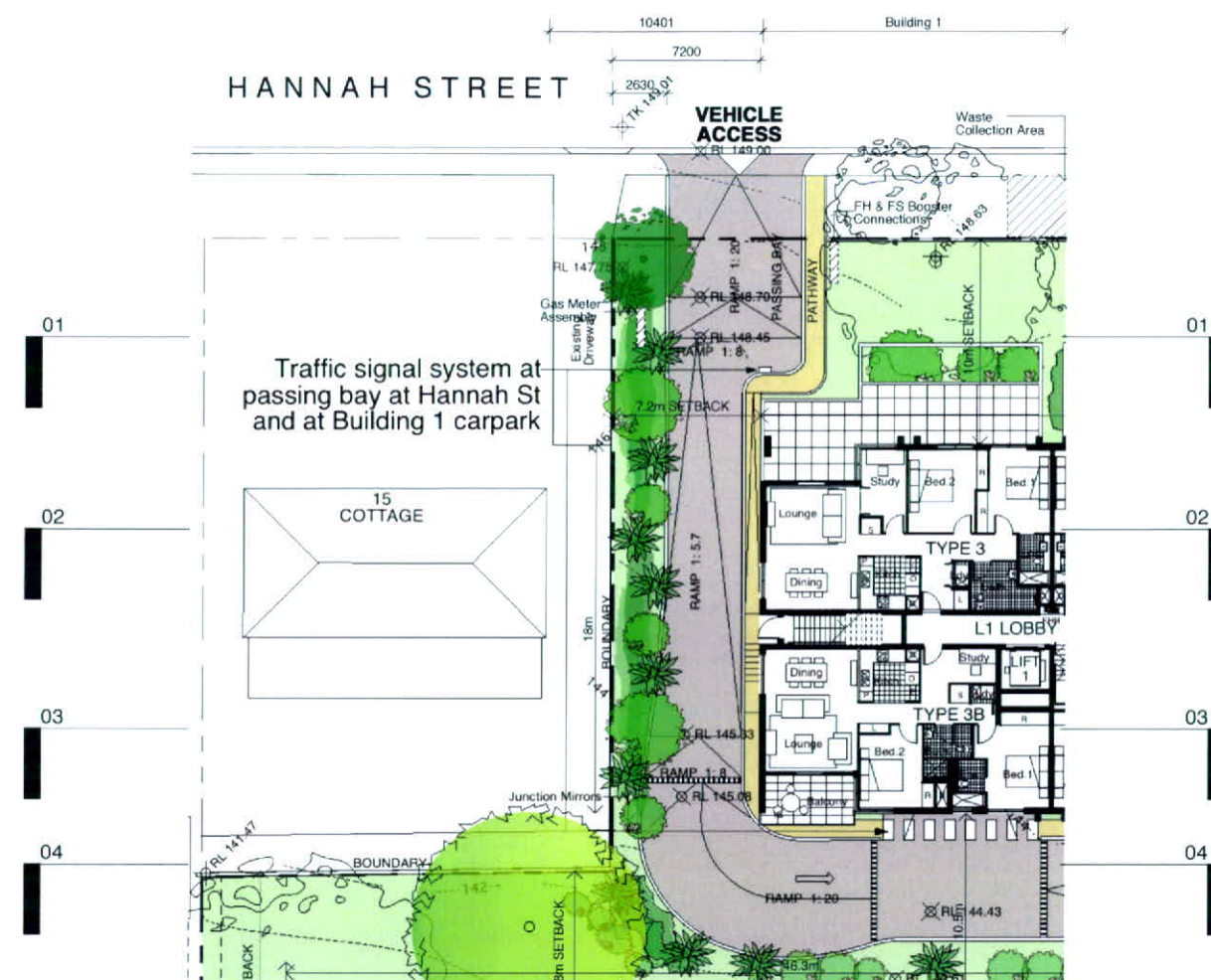
REVISION B:
1. BUILDING ONE FACADE AMENDED



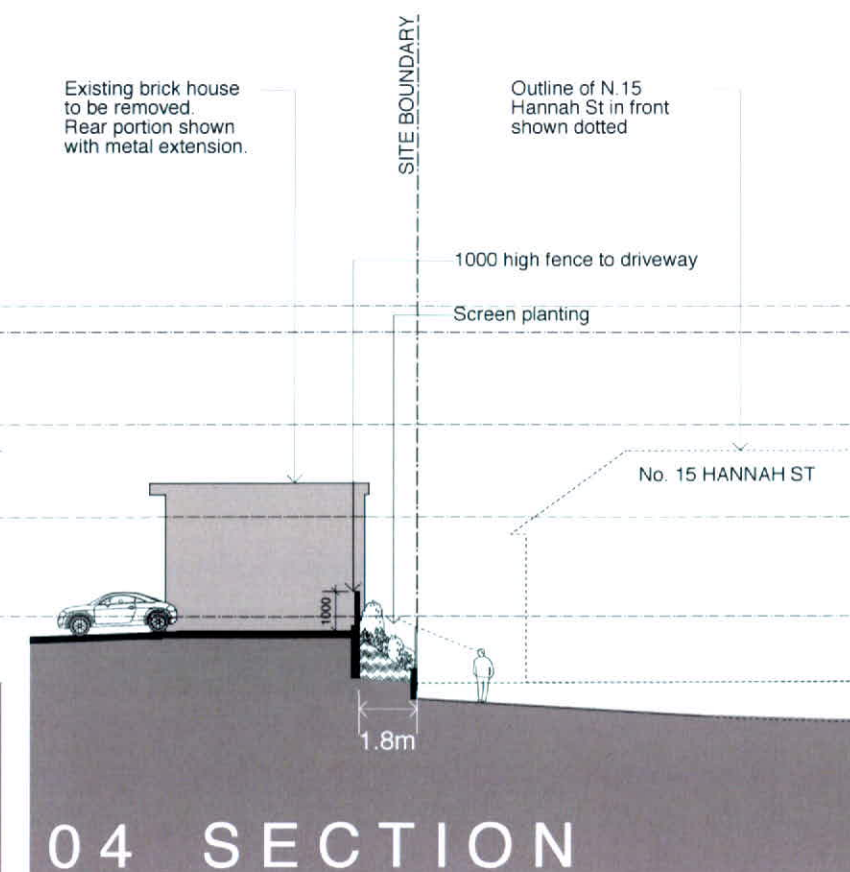
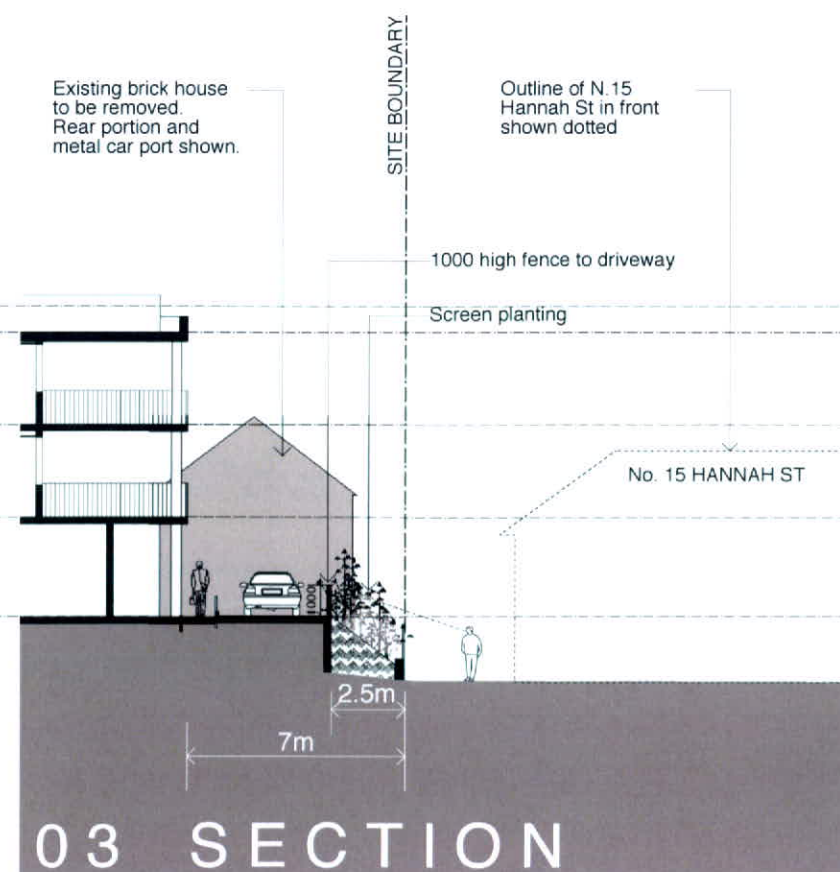
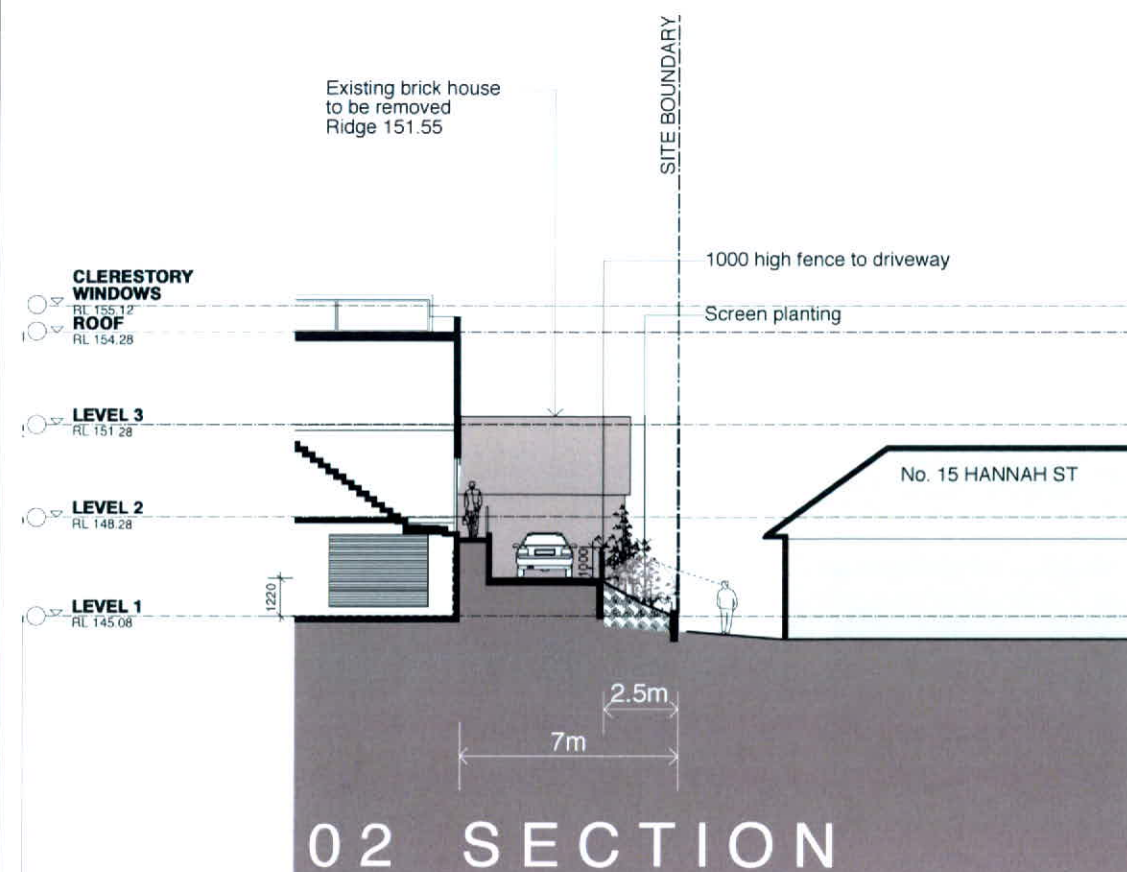
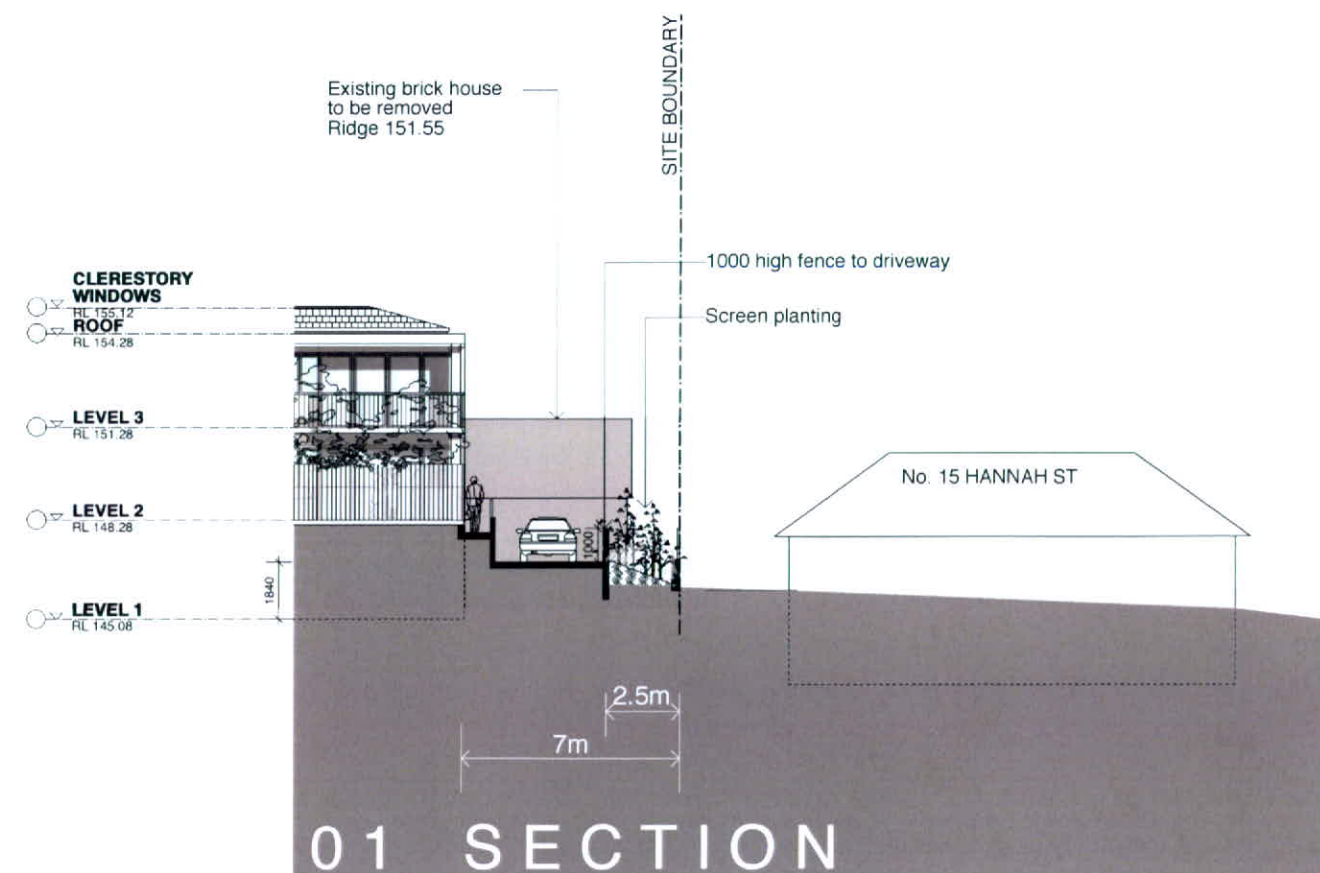


REVISION B:
1. BUILDING ONE FACADE AMENDED
REVISION C:
2. BUILDING ONE FACADE AMENDED

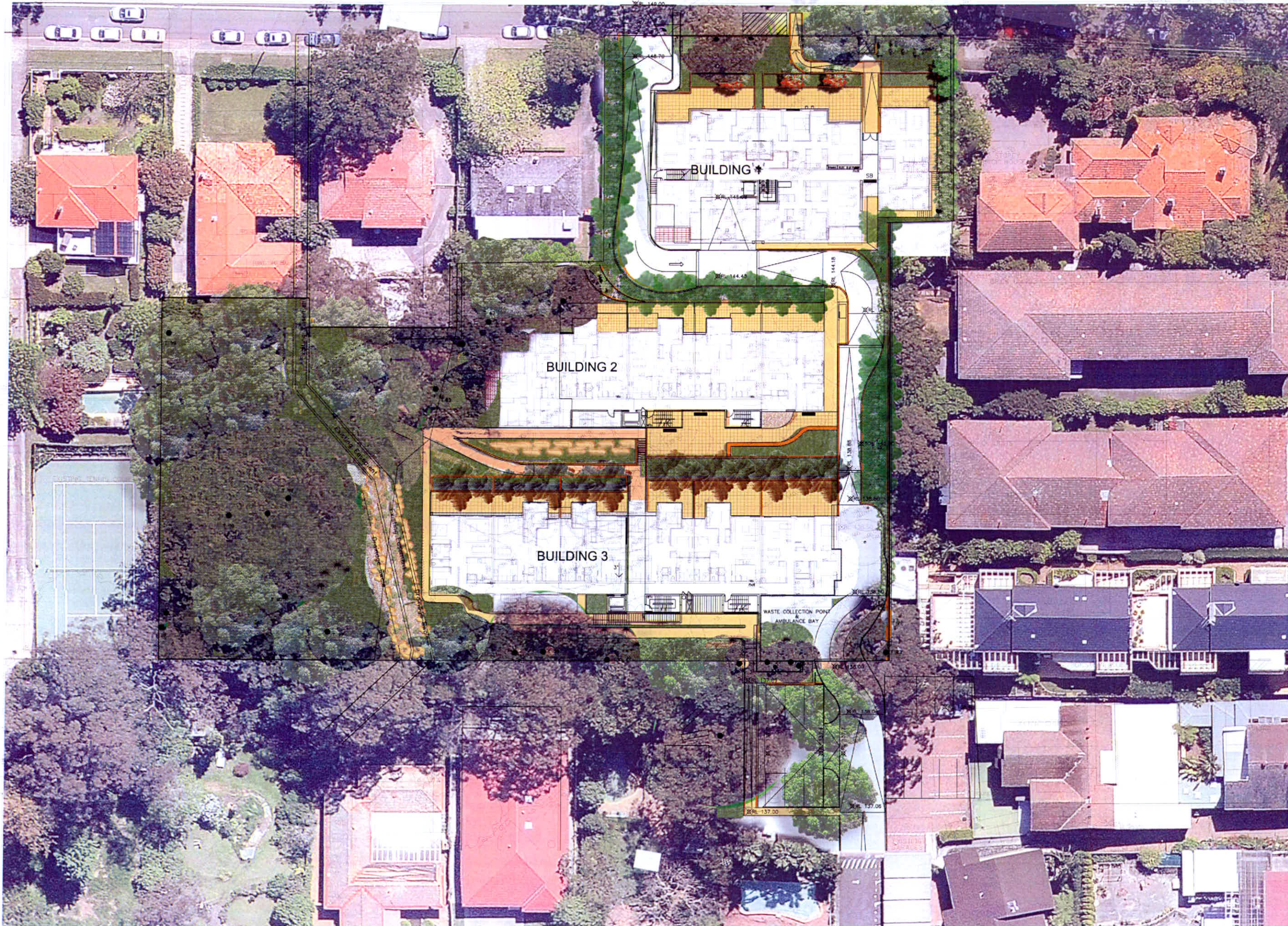




Plan
NTS



HANNAH ST



LEGEND

[Line]	SITE BOUNDARY
[Circle]	EXISTING TREE RETAINED
[Circle]	EXISTING TREE REMOVED
[Circle]	PROPOSED TREE
[Line]	EXISTING CONTOUR
[Line]	PROPOSED NEW CONTOUR
[Text]	EXISTING SPOT LEVEL
[Text]	PROPOSED SPOT LEVEL
[Pattern]	PUBLIC PAVING
[Pattern]	PRIVATE PAVING
[Pattern]	RETAINING WALL
[Pattern]	MASS PLANTING BEDS
[Pattern]	TURF

1	Revised by J.A. Submission	19.06.12
2	Revised by J.A. Submission	20.04.13
3	Revised by J.A. Submission	11.04.13
4	Revised by J.A. Submission	10.10.11
5	Revised by J.A. Submission	07.09.11
6	Revised by J.A. Submission	06.09.11

**taylor
brammer**
LANDSCAPE ARCHITECTS

Taylor Brammer Landscape Architects Pty Ltd

20 Moore Street, Adelaide, 5000, Australia, 5015
Tel: (08) 4387 5056 Fax: (08) 4387 4528
Email: southcoast@taylorbrammer.com.au

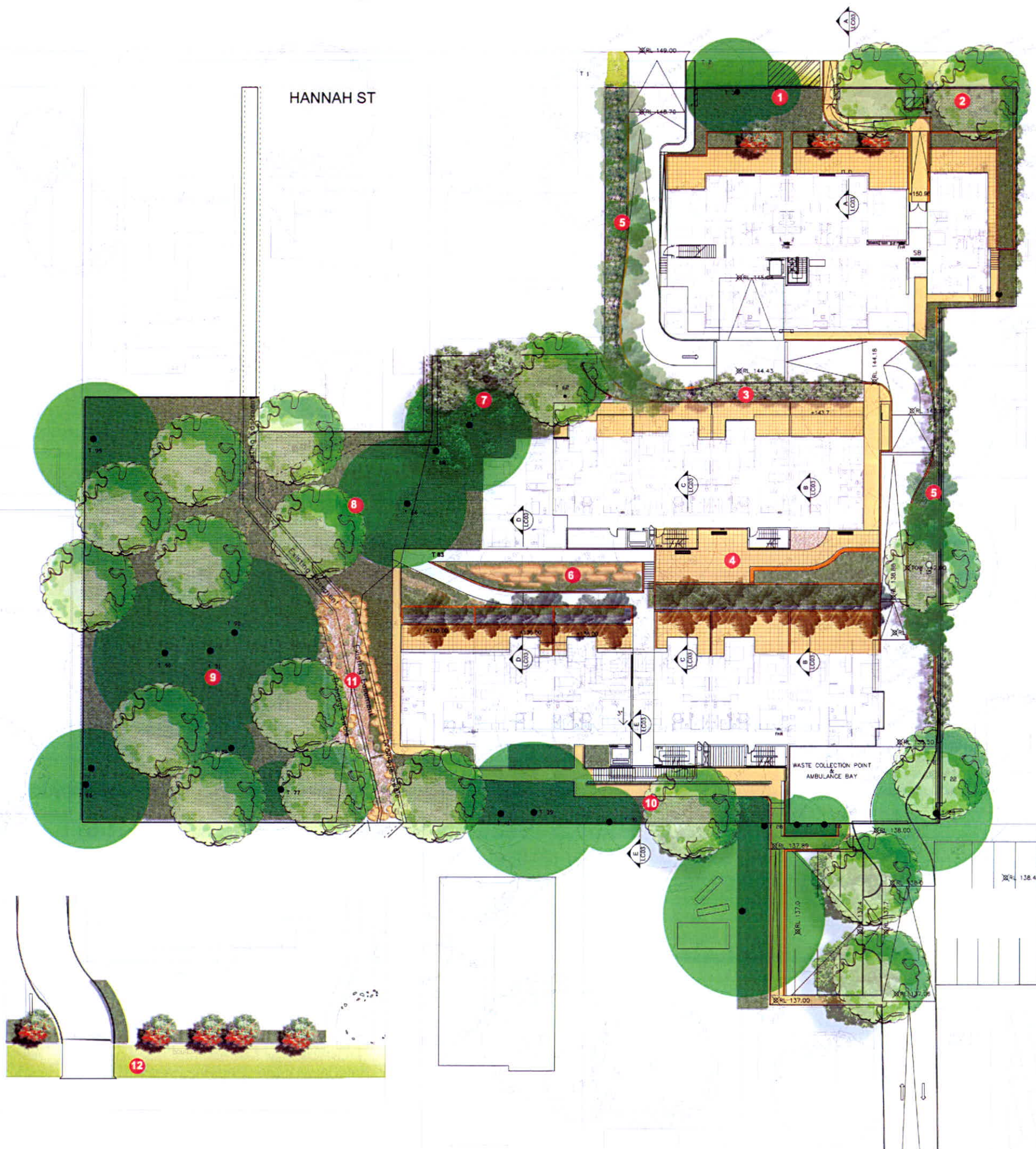
PROJECT: UNITING CARE BEECROFT RESIDENTIAL

Drawing title: Landscape: Context Plan

Scale: 1:250 @B1 Drawn: JTB Drawing No: 1001001
Date: 20 Jan 11 designed by LC01 D
Job No: 10-092W checked by

0 2 4 8M

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Figures dimensions shall be taken in preference to scaling
The architect shall check all dimensions on site before commencing work.



INDICATIVE PLANT LIST

General planting

ID	BOTANICAL NAME	COMMON NAME	SPREAD	HEIGHT
TREES				
1	<i>Acer rubrum</i> 'Soul'	Red Maple	5m	10m
2	<i>Elaeagnus reticulata</i>	Blueberry Ash	6m	8-10m
3	<i>Eucalyptus saligna</i>	Sydney Blue Gum	20-30m	15-20m
4	<i>Eucalyptus parruanus</i>	Grey Ironbark		
PALMS / FERNS				
5	<i>Cyrtosperma australis</i>	Rough Tree Fern	3-5	5m
6	<i>Dicksonia antarctica</i>	Soft Tree Fern	1-2	2m
7	<i>Doodia aspera</i>	Rasp Fern	0-0.5	300mm
8	<i>Blechnum cartilagineum</i>	Grassie Fern	55-1m	1m
SHRUBS				
9	<i>Buxus microphylla</i>	Japanese box	1m	1m
10	<i>Syzygium paniculatum</i>	Lily Pilly	2-4	8m
11	<i>Pittosporum revolutum</i>	Rough-leaved Pittosporum	1-2	2m
GROUNDCOVER				
12	<i>Blandfordia scariosa</i>	Apple Berry	500-1.5m	1.5m
13	<i>Dianella caerulea</i>	Paroo Lily	0-0.5	500mm
14	<i>Lomandra longifolia</i> var. <i>longifolia</i>	Spry-headed Mat Bush	0-0.5	800mm
15	<i>Poa affinis</i>		0-0.5	300mm
Blue Gum Forest Understorey Planting				
PALMS / FERNS				
16	<i>Doodia aspera</i>	Rasp Fern	0-0.5	300mm
SHRUBS AND GROUNDCOVER				
17	<i>Blandfordia scariosa</i>	Apple Berry	500-1.5m	1.5m
18	<i>Blechnum angustifolium</i> var. <i>angustifolium</i>	Silky Daisy	0-0.5	300mm
19	<i>Dianella caerulea</i>	Paroo Lily	0-0.5	500mm
20	<i>Echinopogon caespitosus</i>	Tufted hedgehog grass	1m	1m
21	<i>Entolasia marginata</i>	Panic Grass	0-0.5	300mm
22	<i>Eustrephus latifolius</i>	Wombat Berry	1.5-2m	8m
23	<i>Helichrysum scorpioides</i>	Button everlasting Daisy	15-30cm	300mm
24	<i>Lomandra longifolia</i> var. <i>longifolia</i>	Spry-headed Mat Bush	0-0.5	800mm
25	<i>Opuntia aculeata</i>		0-0.5	300mm
26	<i>Poa affinis</i>		0-0.5	300mm
27	<i>Themeda australis</i>	Kangaroo Grass	0-0.5	300mm

LEGEND

	SITE BOUNDARY
	EXISTING TREE RETAINED
	EXISTING TREE REMOVED
	PROPOSED TREE
	EXISTING CONTOUR
	PROPOSED NEW CONTOUR
	EXISTING SPOT LEVEL
	PROPOSED SPOT LEVEL
	PUBLIC PAVING
	PRIVATE PAVING
	RETAINING WALL
	DECOMPOSED GRANITE PATH
	MASS PLANTING BEDS
	TURF
	DRY CREEK BED

NOTE:
FOR ALL TREE RETENTION AND REMOVAL LOCATIONS PLEASE REFER TO ARBORIST REPORT

DESIGN NOTES

- EXISTING EUCALYPTS TO BE RETAINED. AN ADDITIONAL *Eucalyptus parruanus* HAS BEEN PLANTED TO MATCH THE EXISTING STREET FRONTAGE. LAYERING OF THE LANDSCAPE TO INCLUDE *Acer rubrum* 'Soul' AND *Buxus microphylla* RESPECT THE EXISTING BUILT ENVIRONMENTAL DESIGN PATTERNS OF BOTH BUILT FORM AND CULTURAL LANDSCAPE PLANTINGS OF THE STREET
- SCREEN PLANTING ADJACENT TO HERITAGE LISTED PROPERTY STRENGTHENS CURTILAGE TO HERITAGE PROPERTY
- PRIVATE COURTYARD HAVE BEEN PLANTED WITH *Syzygium* THEY HAVE BEEN PLANTED TO PROVIDE PRIVACY FOR BOTH RESIDENTS AND NEIGHBOURS
- BREAKOUT SPACE FOR RESIDENTS WITH AINING ABOVE. A SENSORY GARDEN WITH SEATING WALL FOR RESIDENTS PROVIDING VIEWS ACROSS TO THE SOUTH-WEST OF THE EXISTING REMNANT BLUE GUM FOREST AND DRY CREEK BED
- THE DRIVEWAY HAS BEEN REDUCED TO ALLOW MORE SCREEN PLANTING TO THE EAST AND WEST BOUNDARIES ADJACENT THE DRIVEWAY. BLUEBERRY ASH SYZYGIUM AND OTHER NATIVE TREES AND SCREENING SHRUBS ARE PROPOSED FOR THESE AREAS TO PROVIDE A DENSE GREEN WALL FROM THE NEIGHBOURING PROPERTIES TO 8m-10m HIGH
- SANDSTONE ROCK EMBANKMENT PLANTED WITH ENDEMIC GRASSES. A 1.20 PATH LINKS BUILDING 2 AND 3. FERNS SCREEN PRIVATE COURTYARDS FROM ABOVE
- EXISTING TREES WITH UNDERSTOREY PLANTING OF ENDEMIC GRASSES AND SHRUBS
- EXISTING TREES RETAINED WITH UNDERSTOREY PLANTED WITH ENDEMIC PLANTS STOCK GROWN FROM SEED COLLECTED ON SITE AND NATIVE TURF TO BE PLANTED
- EXISTING REMNANT BLUE GUM HIGH FOREST WITH A PLANTED UNDERSTOREY OF ENDEMIC GRASSES
- INFORMAL ACCESS PATH WITH EXISTING TREES AND ADDITIONAL PLANTINGS OF ENDEMIC SPECIES BETWEEN BUILDING 3 AND THE BOUNDARY
- EXISTING DRAINAGE SWALE DEVELOPED INTO A NATURAL SYSTEM WITH ROCKY WALL AND NATIVE GRASSES AND GROUND COVERS
- COPELAND ST ENTRY TO BE REVITALISED. ADDITIONAL LANDSCAPE TO SUPPLEMENT EXISTING TREES AND SHRUBS TO CREATE APPROPRIATE ENTRY TO SITE

NOTE: COMMUNAL OPEN SPACE = 3947M² 57% OF TOTAL SITE
ACTIVE RECREATION = 543M²

PLANT IMAGES



MATERIALS



1	Revised by D.A. Submission	14.08.12
2	Revised by D.A. Submission	20.08.12
3	Revised by D.A. Submission	17.09.12
4	Revised by D.A. Submission	18.09.12
5	Revised by D.A. Submission	17.10.12
6	Revised by D.A. Submission	18.10.12
7	Revised by D.A. Submission	18.10.12
8	Revised by D.A. Submission	18.10.12
9	Revised by D.A. Submission	18.10.12
10	Revised by D.A. Submission	18.10.12
11	Revised by D.A. Submission	18.10.12
12	Revised by D.A. Submission	18.10.12

taylor
brammer
LANDSCAPE ARCHITECTS

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25 Moore Street, Australia, NSW, Australia, 2015
Tel: 02 9267 1000 Fax: 02 9267 4028
E: taylorbrammer@taylorbrammer.com.au

PROJECT
UNITING CARE BEECROFT RESIDENTIAL

drawing title
Landscape Concept Plan

scale	1:200 (G1)	drawn	JH	checked	JB	date	20 Jan 11	designed	JB	checked	JB	date	20 Jan 11
job no.	10-08214	checked	JB	date	20 Jan 11	revision							
0	2	4	8M										

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The contractor shall check all dimensions on site before commencing work.

